

AMENDED PRELIMINARY AND FINAL SUBDIVISION PLAN

CLOVERDALE WEST AT CRYSTAL SPRINGS

COVENTRY ROAD

BLOCK 16.30, LOTS 1 & 1.09-1.16

BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12

BLOCK 16.36, LOT 1

TOWNSHIP OF HARDYSTON

SUSSEX COUNTY - NEW JERSEY

TOWNSHIP OF HARDYSTON ZONING REQUIREMENTS

C-R (COMMERCIAL RECREATION) ZONE DISTRICT (DETACHED SINGLE FAMILY HOME)		
ITEM	REQUIRED (1)	PROPOSED
MINIMUM LOT AREA	7,500 SF	MINIMUM PROVIDED 8,717 SF (0.200 ACRES)
MINIMUM LOT WIDTH	55 FT	65.0 FT
MINIMUM FRONT YARD SETBACK	25 FT	25.5 FT
MINIMUM REAR YARD SETBACK	25 FT	29.5 FT
MINIMUM SIDE YARD SETBACK (SINGLE)	8 FT	8.0 FT
MAXIMUM LOT COVERAGE	45%	35%
MAXIMUM BUILDING HEIGHT	2 1/2 STORY/35 FT	< 2 1/2 STORY/35 FT
MINIMUM PATIO & DECK SETBACKS	SAME AS PRINCIPAL BUILDING'S SETBACKS	ALL LOTS CONFORM

(1) REQUIREMENTS AS PER ORDINANCE 2019-01 ADOPTED FEBRUARY 27, 2019

OVERALL SHOTMEYER PARKING REQUIREMENTS PER RSIS

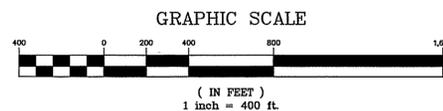
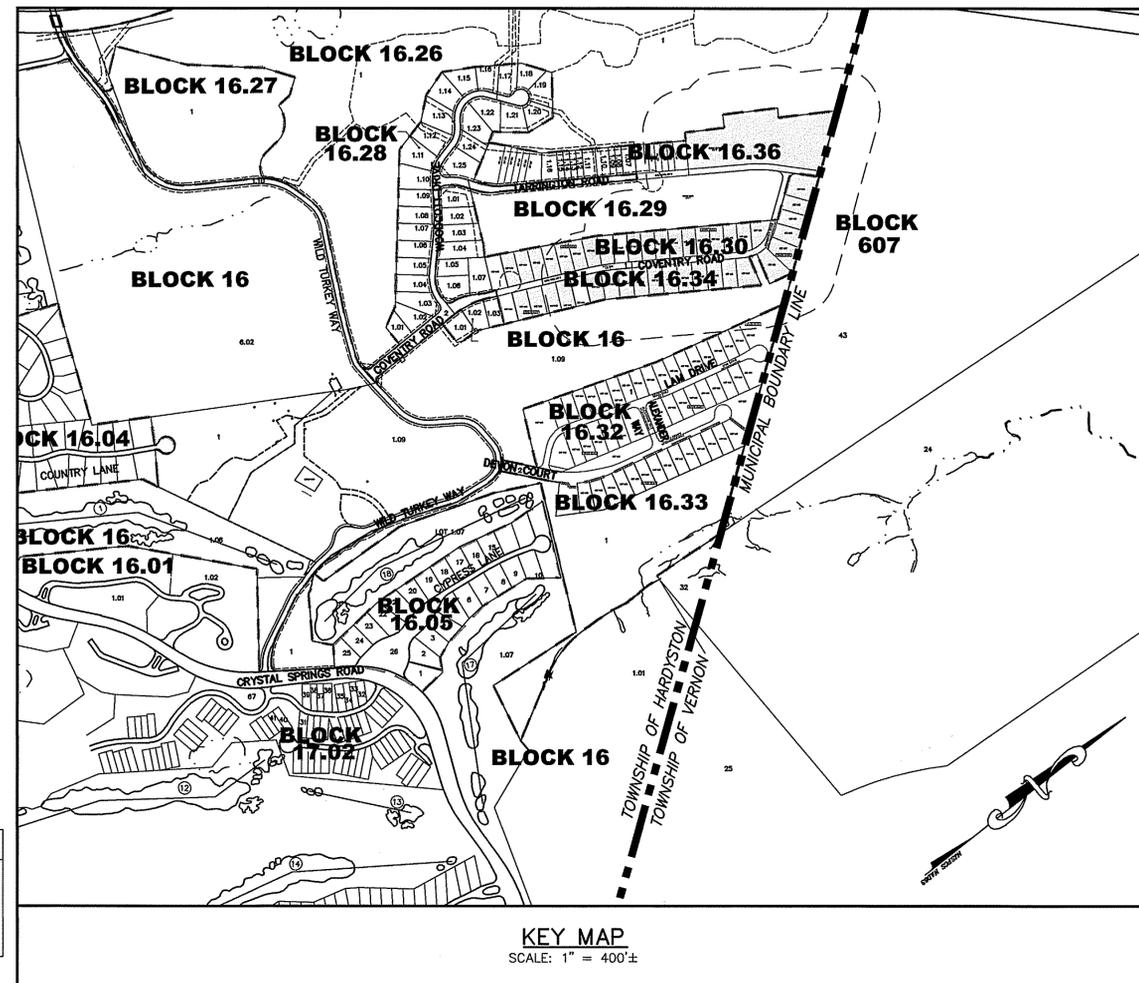
HOUSING TYPE	REQUIRED	APPROVED
ATTACHED SINGLE FAMILY 22-3 BEDROOM TOWNHOMES @ 2.4 SP/D.U.	53 SPACES	22 GARAGE SPACES 22 DRIVEWAY SPACES 11 STREET SPACES 55 SPACES
ZERO LOT LINE DETACHED DWELLINGS AND SINGLE FAMILY HOMES 108 DWELLING UNITS @ 2.5 SP/D.U. 9 GOLF VILLAS @ 1 SP/BEDROOM.	270 SPACES 36 SPACES 306 SPACES	3.5 SPACES/D.U. (1) = 378 SPACES 4 SPACES/GOLF VILLA = 36 SPACES 414 SPACES TOTAL
MULTILEVEL HOUSING PER BUILDING 126-2 BEDROOM MID RISE APARTMENT @ 2.0 SPACE/UNIT 54-1 BEDROOM MID RISE APARTMENT @ 1.5 SPACE/UNIT	252 SPACES 98 SPACES 350 SPACES	80 GARAGE SPACES (10 HC SPACES) 80 DRIVEWAY SPACES 161 OFF-STREET PARKING AREA SPACES (8 HC SPACES) 40 STREET SPACES 361 SPACES TOTAL
(30-2 BDRM & 111-1 BDRM PRIOR APPROVAL)	(282 SPACES PRIOR APPROVAL)	(301 SPACES PRIOR APPROVAL)

PARKING REQUIREMENTS FOR HIGHGROVE & CLOVERDALE EAST

HOUSING TYPE	REQUIRED	PROVIDED
ZERO LOT LINE DETACHED DWELLINGS AND SINGLE FAMILY HOMES 119 DWELLING UNITS @ 2.5 SP/D.U. 1 GOLF VILLAS @ 1 SP/BEDROOM.	298 SPACES 4 SPACES 302 SPACES	119 x 3.5 SPACES/D.U. (1) = 417 SPACES 4 SPACES/GOLF VILLA = 36 SPACES 453 SPACES TOTAL
ADDITIONAL ON STREET PARKING LAM DRIVE DEVON COURT ALEXANDER WAY		20 SPACES 23 SPACES 6 SPACES 49 SPACES

AREA SUMMARY

BLOCK	LOT	EXISTING (ACREAGE)	PROPOSED (ACREAGE)	USE
16.32	1	8.744	N/A	N/A
16.32	1.01-1.35	N/A	9.149	RESIDENTIAL LOTS
16.32	2	0.437	2.121	DEVON CT, EDENFIELD LANE, ASHBOURNE CT
16.33	1	17.399	12.589	REMAINDER LOT
16.33	1.02-1.15	N/A	2.721	RESIDENTIAL LOTS
TOTAL		26.58	26.58	



NOTES AND REFERENCES

- OWNERS: BLOCK 16.30 LOTS 1 & 1.09-1.16
BLOCK 16.34 LOTS 1.05-1.08 & 1.10-1.12
BLOCK 16.36 LOT 1
LAM DEVELOPMENT GROUP, LLC
115 RIVER ROAD, SUITE 103
EDGEWATER, NJ 07020
- APPLICANT: LAM DEVELOPMENT GROUP, LLC.
C/O MICHAEL LAM
#115 RIVER ROAD, SUITE 103
EDGEWATER, NJ 07020
- THESE PLANS HAVE BEEN PREPARED FOR AN AMENDED PRELIMINARY AND FINAL SUBDIVISION AND AMENDED CONSTRUCTION PLAN FOR CLOVERDALE WEST AT CRYSTAL SPRINGS, WHICH IS A SECTION OF THE SHOTMEYER DEVELOPMENT PROJECT. AS PART OF THIS AMENDED APPROVAL, THE APPLICANT IS LOOKING TO EXTEND ROADWAY IMPROVEMENTS FOR COVENTRY ROAD ACROSS BLOCK 16.30, LOT 1 AND BLOCK 16.36, LOT 1 AND SUBDIVIDE THE REMAINING PORTIONS OF BLOCK 16.30, LOT 1 TO CREATE A TOTAL OF THIRTY-NINE (39) NEW DETACHED SINGLE FAMILY RESIDENTIAL LOTS. BLOCK 16.36, LOT 1 IS INITIALLY PART OF THE FERNDOWN AT CRYSTAL SPRINGS SECTION AND IS INCLUDED AS PART OF THIS APPLICATION SO THAT THE REMAINING PORTION OF COVENTRY ROAD MAY BE BUILT AND ALL OF THE LOTS PROPOSED TO BE CREATED WILL HAVE ROAD FRONTAGE. UNDER THE PREVIOUS SUBDIVISION APPROVAL, BLOCK 16.30, LOT 1 WAS APPROVED TO CREATE THIRTY-NINE (39) ZERO LOT LINE DETACHED RESIDENTIAL LOTS. THERE IS NO CHANGE IN THE NUMBER OF LOTS BEING CREATED FOR THIS SECTION OF THE CLOVERDALE WEST AT CRYSTAL SPRINGS.
- THE SUBJECT PROPERTIES ARE A TOTAL OF 26.580 ACRES IN SIZE AND LOCATED ENTIRELY WITHIN THE COMMERCIAL RECREATION (C-R) ZONE DISTRICT OF THE TOWNSHIP OF HARDYSTON. THE PROPERTIES HAVE FRONTAGE ALONG CRYSTAL SPRINGS ROAD, WILD TURKEY WAY, DEVON COURT, & COVENTRY ROAD.
- THE PROPERTY IN QUESTION HAS BEEN THE SUBJECT OF PRIOR APPLICATIONS TO THE HARDYSTON TOWNSHIP PLANNING BOARD.
 - APPLICATIONS PB-9-04-3 AND PB-9-04-4 MEMORIALIZED APRIL 28, 2005 APPROVED THE PRELIMINARY AND FINAL MAJOR SUBDIVISION AND PRELIMINARY AND FINAL SITE PLAN FOR BLOCK 16 LOTS 1, 1.02, 6.01 AND 6.02.
 - APPLICATION PB-11-05-5 MEMORIALIZED JANUARY 26, 2006 APPROVED THE PRELIMINARY AND FINAL MAJOR SUBDIVISION FOR BLOCK 16 LOTS 1.02, 6.01 AND 6.02.
 - APPLICATIONS PB-9-06-1 AND PB-9-06-2 MEMORIALIZED NOVEMBER 13, 2006 APPROVED THE AMENDED PRELIMINARY AND FINAL MAJOR SUBDIVISION AND AMENDED PRELIMINARY AND FINAL SITE PLAN FOR BLOCK 16 LOTS 1, 1.02, 6.01 AND 6.02.
 - APPLICATIONS PB-9-06-1 AND PB-9-06-2 MEMORIALIZED JULY 24, 2008 APPROVED THE AMENDED PRELIMINARY AND FINAL MAJOR SUBDIVISION AND AMENDED PRELIMINARY AND FINAL SITE PLAN FOR BLOCK 16 LOTS 1, 1.02, 6.01 AND 6.02. REVISED AND REMEMORIALIZED PART OF THE PRIOR APPROVAL.
 - APPLICATIONS PB-9-06-1A AND PB-9-06-2A MEMORIALIZED OCTOBER 28, 2010 THE EXTENSION OF THE APPROVED AMENDED PRELIMINARY AND FINAL MAJOR SUBDIVISION AND AMENDED PRELIMINARY AND FINAL SITE PLAN FOR BLOCK 16 LOTS 1, 1.02, 6.01 AND 6.02.
 - APPLICATION PB-11-01 MEMORIALIZED NOVEMBER 17, 2011 APPROVED THE AMENDED CONSTRUCTION PLAN, AMENDED PRELIMINARY AND FINAL SITE PLAN, AMENDED MASTER PLAN AND "C" VARIANCES AND WAIVER OF APPLICATION OF SHOTLAND BAUER LLC RELATING TO THE FERNDOWN AT CRYSTAL SPRINGS, BLOCK 16 LOTS 1, 1.02, 6.01, 6.02, BLOCK 16.29 LOT 1 AND LOCATED IN THE CR ZONE.
 - APPLICATION PB 8-14-1 MEMORIALIZED AND APPROVED SEPTEMBER 25, 2014 AMENDED PRELIMINARY AND FINAL SUBDIVISION AND SITE PLAN FOR BUILDING 4 OF THE PEMBRIDGE AT CRYSTAL SPRINGS SHOTMEYER TRACT BLOCK 16.37 LOT 1.17.
 - APPLICATION PB 1-19-1 MEMORIALIZED JULY 20, 2019 APPROVED THE AMENDED PRELIMINARY AND FINAL MAJOR SUBDIVISION APPROVAL AND AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN APPROVAL TO LAM DEVELOPMENT GROUP, LLC FOR THE SUBJECT PROPERTY KNOWN AND DESIGNATED AS BLOCK 16.31, LOT 1, BLOCK 16.32, LOTS 1 AND 2 AND BLOCK 16.33, LOT 1.
- UNDERGROUND UTILITIES SERVING THE SUBJECT PROPERTY ARE SHOWN BASED UPON SURFACE EVIDENCE AND AVAILABLE RECORD DOCUMENTS. THE LACK OF UNDERGROUND UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OR ABSENCE OF SAME. THE APPROPRIATE UTILITY COMPANY SHOULD BE CONTACTED TO CONFIRM THE EXISTENCE OR ABSENCE OF SAME AND A FIELD MARKOUT OF ALL UTILITIES PRIOR TO CONSTRUCTION. FIELD MARKOUT CAN BE REQUESTED BY CALLING 1-800-242-1000.
- BOUNDARY INFORMATION BASED ON MAP TITLED "BOUNDARY SURVEY PLAN, BLOCK 16.27~LOT1; BLOCK 16.28~LOT 2; BLOCK 16.29~LOT 1; BLOCK 16.30~LOTS 1 & 1.09-1.16; BLOCK 16.32~LOTS 1& 2; BLOCK 16.33~LOT 1; BLOCK 16.34~LOTS 1.05-1.12; BLOCK 16.36~LOT 1; BLOCK 16.37~LOTS 1.17-1.22. TOWNSHIP OF HARDYSTON, SUSSEX COUNTY, NEW JERSEY," PREPARED BY DYKSTRA WALKER DESIGN GROUP, DATED 6/19/18, AND LAST REVISED 8/6/18.
- TOPOGRAPHY FOR OVERALL SITE BASED ON AERIAL TOPOGRAPHY PROVIDED BY GEOD CORPORATION AERIAL PHOTOGRAMMETRY & LAND SURVEYING, DATED 9/14/18.
- THERE ARE NO FLOODPLAINS, FLOODWAYS, OR FLOOD HAZARD AREAS LOCATED ON THE SUBJECT PROPERTY PER FIRM MAPPING.
- WETLANDS DELINEATION PERFORMED BY MATRIX ENVIRONMENTAL AND GEOTECHNICAL SERVICES AND VERIFIED PER NJDEP LETTER OF INTERPRETATION FILE NO. 1900-06-0001.1. THERE ARE NO WETLANDS OR TRANSITION AREAS DISTURBED AS PART OF THIS APPLICATION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWNSHIP OF HARDYSTON AND OSHA SAFETY STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE.
- ALL UTILITY LOCATIONS, GRADES, ELEVATIONS, INVERTS, ETC. SHALL BE CONFIRMED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ANY DESIGN ADJUSTMENTS AS MAY BE REQUIRED DUE TO FIELD CONDITIONS.
- WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED TO THE PROPOSED DEVELOPMENT BY THE EXTENSION OF EXISTING MUNICIPAL SERVICES.
- APPLICANT SHALL OBTAIN ALL REQUIRED ROAD OPENING PERMITS FOR WORK TO BE PERFORMED WITHIN THE RIGHT OF WAY OF PUBLIC ROAD.
- IN THE EVENT THAT BLASTING IS REQUIRED THE APPLICANT SHALL OBTAIN A BLASTING PERMIT FROM THE TOWNSHIP AND SUBJECT TO ALL REQUIREMENTS PERTAINING TO SAME.
- THERE SHALL BE NO MATERIAL REMOVED FROM THE SITE ANY EXCESS SHALL BE REDISTRIBUTED ON SITE.
- THERE ARE NO KNOWN PROPOSED COVENANTS OR DEED RESTRICTIONS.
- PRIOR TO CONSTRUCTION OF RETAINING WALLS IN EXCESS OF 6 FEET IN HEIGHT OR TIERED RETAINING WALLS, CALCULATIONS AND DESIGN PLANS SHALL BE PROVIDED TO THE SATISFACTION OF THE PLANNING BOARD ENGINEER.
- ALL PROPOSED STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III OR APPROVED ALTERNATE.
- THERE WILL BE NO SEPARATE SALES OR CONSTRUCTION TRAILER FOR THIS DEVELOPMENT. THE EXISTING CRYSTAL SPRINGS FACILITIES WILL BE USED. IN THE EVENT THAT A SEPARATE TRAILER IS REQUIRED A SITEPLAN DEPICTING THE REQUIRED INFORMATION WILL BE PROVIDED FOR REVIEW AND APPROVAL BY THE BOARD ENGINEER.
- THE INDIVIDUAL GRADING PLAN FOR EACH LOT WILL INDICATE THAT A DRYWELL WILL BE PROVIDED TO COLLECT ROOF RUN-OFF.
- EXISTING CONDITIONS DEPICTED ON THESE PLANS ARE BASED ON CONDITIONS WHICH EXISTED PRIOR TO CONSTRUCTION ACTIVITIES ASSOCIATED WITH APPLICATION NO PB 1-19-1. THIS APPLICATION PROPOSES NO CHANGES TO THE ROADWAYS OR UTILITIES ONLY THE ELIMINATION OF ONE BUILDING LOT, FROM THE APPROVED PLAN.

PLANNING BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF HARDYSTON, SUSSEX COUNTY, NEW JERSEY

PLANNING BOARD CHAIRPERSON _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

PLANNING BOARD ENGINEER _____ DATE _____

SHEET INDEX

SHEET	DESCRIPTION
1	TITLE SHEET
2	PROPERTY OWNERS LIST
3	EXISTING CONDITIONS PLAN
4	FINAL SUBDIVISION PLAN
5-6	LOT LAYOUT, LIGHTING, & LANDSCAPING PLAN - SHEETS A-B
7-8	GRADING PLAN - SHEETS A-B
9-10	UTILITY PLAN - SHEETS A-B
11	SOIL EROSION & SEDIMENT CONTROL PLAN
12-14	CONSTRUCTION NOTES & DETAILS

DATE	REVISION

DYKSTRA WALKER
DESIGN & SURVEYORS
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849
PHONE (973) 663-6540 - FAX (973) 663-0042
WWW.DYKSTRAWALKER.COM

Thomas F. Graham
THOMAS F. GRAHAM, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24CE03788100

TITLE SHEET		SCALE: 1" = 400'
AMENDED PRELIMINARY AND FINAL SUBDIVISION CLOVERDALE WEST AT CRYSTAL SPRINGS BLOCK 16.30, LOTS 1 & 1.09-1.16 BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12 BLOCK 16.36, LOT 1 COVENTRY ROAD TOWNSHIP OF HARDYSTON SUSSEX COUNTY NEW JERSEY		

LIST OF PROPERTY OWNERS WITHIN 200'

OWNER & ADDRESS REPORT
07/02/20 Page 1 of 3

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
16.28	2		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD #103 EDGEWATER, NJ 07020	ROAD LOT - COVENTRY	COUNTRY CLUB RDG-W
16.29	1		2	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD #103 EDGEWATER, NJ 07020	WILD TURKEY WAY	FERNDOWN
16.29	1	C0101	2	BOYE, MATTHEW & THOMAS V 169 TARRINGTON RD #101 HAMBURG, NJ 07419	169 TARRINGTON RD, #101	FERNDOWN
16.29	1	C0102	2	WEBER, HAROLD & HOLLY 169 TARRINGTON RD, #102 HARDYSTON, NJ 07419	169 TARRINGTON RD, #102	FERNDOWN
16.29	1	C0103	2	PALARDY, MICHAEL 169 TARRINGTON RD #103 HAMBURG, NJ 07419	169 TARRINGTON RD #103	FERNDOWN
16.29	1	C0104	2	JOHNSON, MICHAEL W 169 TARRINGTON RD #201 HAMBURG, NJ 07419	169 TARRINGTON RD #201	FERNDOWN
16.29	1	C0105	2	CARLIN, JOHN & MARILYN 169 TARRINGTON RD #202 HAMBURG, NJ 07419	169 TARRINGTON RD #202	FERNDOWN
16.29	1	C0106	2	WARJANKA, MICHAEL & LARISA 251 HAZEL AVE WESTFIELD, NJ 07090	169 TARRINGTON RD #203	FERNDOWN
16.29	1	C0107	2	DIPALMA, LUCILLE R & CANDELA, P A 169 TARRINGTON RD #301 HARDYSTON, NJ 07419	169 TARRINGTON RD #301	FERNDOWN
16.29	1	C0108	2	REA, WILLIAM D & FAY L 1123 WAVERLY ST HOUSTON, TX 77008	169 TARRINGTON RD #302	FERNDOWN
16.29	1	C0109	2	BOLAND, JOHN V 169 TARRINGTON RD #303 HAMBURG, NJ 07419	169 TARRINGTON RD #303	FERNDOWN
16.29	1	C0110	2	FESTA, NICHOLAS J ET AL 169 TARRINGTON RD #304 HAMBURG, NJ 07419	169 TARRINGTON RD #304	FERNDOWN
16.29	1	C0111	2	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD #103 EDGEWATER, NJ 07020	169 TARRINGTON RD #305	FERNDOWN
16.29	1	C0112	2	MUMI, BETH & PETER COOPER RD #9F NEW YORK, NY 10010	169 TARRINGTON RD #306	FERNDOWN
16.29	1	C0113	2	LONCAR, IVAN & PEJOVIC-LONCAR, T 56 JEFFERSON ST APT 5A HOBOKEN, NJ 07030	169 TARRINGTON RD #401	FERNDOWN
16.29	1	C0114	2	BENITEZ, YVETTE 169 TARRINGTON RD #402 HARDYSTON, NJ 07419	169 TARRINGTON RD #402	FERNDOWN
16.29	1	C0115	2	YORIO, WILLIAM & ELIZABETH 382 WEST 56TH ST APT 5N NEW YORK, NY 10019	169 TARRINGTON RD #403	FERNDOWN
16.29	1	C0116	2	NUSSBAUM, DREW J & MEGAN 426 ALBANY CT WEST NEW YORK, NJ 07093	169 TARRINGTON RD #404	FERNDOWN
16.29	1	C0117	2	TANG, KENNY K & WATANABE, MARIKO 1 RIVER PL APT 2708 NEW YORK, NY 10036	169 TARRINGTON RD #405	FERNDOWN

OWNER & ADDRESS REPORT
07/02/20 Page 1 of 2

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
16.28	2		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD #103 EDGEWATER, NJ 07020	ROAD LOT - COVENTRY	COUNTRY CLUB RDG-W
16.29	1		2	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD #103 EDGEWATER, NJ 07020	WILD TURKEY WAY	FERNDOWN
16.29	1	C0101	2	BOYE, MATTHEW & THOMAS V 169 TARRINGTON RD #101 HAMBURG, NJ 07419	169 TARRINGTON RD, #101	FERNDOWN
16.29	1	C0102	2	WEBER, HAROLD & HOLLY 169 TARRINGTON RD, #102 HARDYSTON, NJ 07419	169 TARRINGTON RD, #102	FERNDOWN
16.29	1	C0103	2	PALARDY, MICHAEL 169 TARRINGTON RD #103 HAMBURG, NJ 07419	169 TARRINGTON RD #103	FERNDOWN
16.29	1	C0104	2	JOHNSON, MICHAEL W 169 TARRINGTON RD #201 HAMBURG, NJ 07419	169 TARRINGTON RD #201	FERNDOWN
16.29	1	C0105	2	CARLIN, JOHN & MARILYN 169 TARRINGTON RD #202 HAMBURG, NJ 07419	169 TARRINGTON RD #202	FERNDOWN
16.29	1	C0106	2	WARJANKA, MICHAEL & LARISA 251 HAZEL AVE WESTFIELD, NJ 07090	169 TARRINGTON RD #203	FERNDOWN
16.29	1	C0107	2	DIPALMA, LUCILLE R & CANDELA, P A 169 TARRINGTON RD #301 HARDYSTON, NJ 07419	169 TARRINGTON RD #301	FERNDOWN
16.29	1	C0108	2	REA, WILLIAM D & FAY L 1123 WAVERLY ST HOUSTON, TX 77008	169 TARRINGTON RD #302	FERNDOWN
16.29	1	C0109	2	BOLAND, JOHN V 169 TARRINGTON RD #303 HAMBURG, NJ 07419	169 TARRINGTON RD #303	FERNDOWN
16.29	1	C0110	2	FESTA, NICHOLAS J ET AL 169 TARRINGTON RD #304 HAMBURG, NJ 07419	169 TARRINGTON RD #304	FERNDOWN
16.29	1	C0111	2	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD #103 EDGEWATER, NJ 07020	169 TARRINGTON RD #305	FERNDOWN
16.29	1	C0112	2	MUMI, BETH & PETER COOPER RD #9F NEW YORK, NY 10010	169 TARRINGTON RD #306	FERNDOWN
16.29	1	C0113	2	LONCAR, IVAN & PEJOVIC-LONCAR, T 56 JEFFERSON ST APT 5A HOBOKEN, NJ 07030	169 TARRINGTON RD #401	FERNDOWN
16.29	1	C0114	2	BENITEZ, YVETTE 169 TARRINGTON RD #402 HARDYSTON, NJ 07419	169 TARRINGTON RD #402	FERNDOWN
16.29	1	C0115	2	YORIO, WILLIAM & ELIZABETH 382 WEST 56TH ST APT 5N NEW YORK, NY 10019	169 TARRINGTON RD #403	FERNDOWN
16.29	1	C0116	2	NUSSBAUM, DREW J & MEGAN 426 ALBANY CT WEST NEW YORK, NJ 07093	169 TARRINGTON RD #404	FERNDOWN
16.29	1	C0117	2	TANG, KENNY K & WATANABE, MARIKO 1 RIVER PL APT 2708 NEW YORK, NY 10036	169 TARRINGTON RD #405	FERNDOWN

OWNER & ADDRESS REPORT
07/02/20 Page 2 of 3

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
16.29	1	C0118	2	COSTIGLIOLA, FRANK & KATHLEEN 14 PASHEN PL DIX HILLS, NY 11746	169 TARRINGTON RD #406	FERNDOWN
16.30	1.02		2	ESPOSITO, JENNIFER M & MICHALSKI, C 10 WOODCOTT DR HAMBURG, NJ 07419	10 WOODCOTT DR	CLOVERDALE-W
16.30	1.03		2	SANTOCCI, FRANK & ROSEMARY 8 WOODCOTT DR HAMBURG, NJ 07419	8 WOODCOTT DR	CLOVERDALE-W
16.30	1.04		2	CLEMENTS, MARLENE 6 WOODCOTT DR HAMBURG, NJ 07419	6 WOODCOTT DR	CLOVERDALE-W
16.30	1.05		2	ZERCONSKI, GEORGE P & DONNA M 4 WOODCOTT DR HAMBURG, NJ 07419	4 WOODCOTT DR	CLOVERDALE-W
16.30	1.06		2	MURRAY, BRENDON & JAYNA 2 WOODCOTT DR HAMBURG, NJ 07419	2 WOODCOTT DR	CLOVERDALE-W
16.30	1.07		2	CULLY, CARL & JACQUELYN 9 COVENTRY RD HAMBURG, NJ 07419	9 COVENTRY RD	CLOVERDALE-W
16.30	1.08		2	CANDELA, PETER J & PATRICIA A 11 COVENTRY RD HARDYSTON, NJ 07419	11 COVENTRY RD	CLOVERDALE-W
16.30	1.17		2	SANTOS, SERGIO & CHRISTINA 29 COVENTRY RD HARDYSTON, NJ 07419	29 COVENTRY RD	CLOVERDALE-W
16.32	1		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	WILD TURKEY WAY	CLOVERDALE EAST
16.34	1.02		2	ICECREAMMALLA, H C & RASILABEN H 4 COVENTRY RD HAMBURG, NJ 07419	4 COVENTRY RD	CLOVERDALE-W
16.34	1.03		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD #103 EDGEWATER, NJ 07020	6 COVENTRY RD	CLOVERDALE-W
16.34	1.04		2	OBEITER, ROBERT & BENEZRA-OBEITER, R 23 SCARLET OAK LN PARAMUS, NJ 07652	8 COVENTRY RD	CLOVERDALE-W
16.34	1.05		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	10 COVENTRY RD	CLOVERDALE-W
16.34	1.06		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	12 COVENTRY RD	CLOVERDALE-W
16.34	1.07		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	14 COVENTRY RD	CLOVERDALE-W
16.34	1.08		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	16 COVENTRY RD	CLOVERDALE-W
16.34	1.09		2	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	18 COVENTRY RD	CLOVERDALE-W
16.34	1.10		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	20 COVENTRY RD	CLOVERDALE-W

OWNER & ADDRESS REPORT
07/02/20 Page 2 of 2

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
16.29	1	C0118	2	COSTIGLIOLA, FRANK & KATHLEEN 14 PASHEN PL DIX HILLS, NY 11746	169 TARRINGTON RD #406	FERNDOWN
16.30	1		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	WILD TURKEY WAY	CLOVERDALE-W
16.30	1.06		2	MURRAY, BRENDON & JAYNA 2 WOODCOTT DR HAMBURG, NJ 07419	2 WOODCOTT DR	CLOVERDALE-W
16.30	1.07		2	CULLY, CARL & JACQUELYN 9 COVENTRY RD HAMBURG, NJ 07419	9 COVENTRY RD	CLOVERDALE-W
16.30	1.08		2	CANDELA, PETER J & PATRICIA A 11 COVENTRY RD HARDYSTON, NJ 07419	11 COVENTRY RD	CLOVERDALE-W
16.30	1.09		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	13 COVENTRY RD	CLOVERDALE-W
16.30	1.10		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	15 COVENTRY RD	CLOVERDALE-W
16.30	1.11		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	17 COVENTRY RD	CLOVERDALE-W
16.30	1.12		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	19 COVENTRY RD	CLOVERDALE-W
16.30	1.13		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	21 COVENTRY RD	CLOVERDALE-W
16.30	1.14		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	23 COVENTRY RD	CLOVERDALE-W
16.30	1.15		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	25 COVENTRY RD	CLOVERDALE-W
16.30	1.16		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	27 COVENTRY RD	CLOVERDALE-W
16.30	1.17		2	SANTOS, SERGIO & CHRISTINA 29 COVENTRY RD HARDYSTON, NJ 07419	29 COVENTRY RD	CLOVERDALE-W
16.34	1.02		2	ICECREAMMALLA, H C & RASILABEN H 4 COVENTRY RD HAMBURG, NJ 07419	4 COVENTRY RD	CLOVERDALE-W
16.34	1.03		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD #103 EDGEWATER, NJ 07020	6 COVENTRY RD	CLOVERDALE-W
16.34	1.04		2	OBEITER, ROBERT & BENEZRA-OBEITER, R 23 SCARLET OAK LN PARAMUS, NJ 07652	8 COVENTRY RD	CLOVERDALE-W
16.34	1.09		2	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	18 COVENTRY RD	CLOVERDALE-W

OWNER & ADDRESS REPORT
07/02/20 Page 3 of 3

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
16.34	1.11		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	22 COVENTRY RD	CLOVERDALE-W
16.34	1.12		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	24 COVENTRY RD	CLOVERDALE-W
16.36	1		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	90 TARRINGTON RD	PEMBRIDGE (6 UNITS)

OWNER & ADDRESS REPORT
07/02/20 Page 2 of 2

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
16.34	1.02		2	ICECREAMMALLA, H C & RASILABEN H 4 COVENTRY RD HAMBURG, NJ 07419	4 COVENTRY RD	CLOVERDALE-W
16.34	1.03		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD #103 EDGEWATER, NJ 07020	6 COVENTRY RD	CLOVERDALE-W
16.34	1.04		2	OBEITER, ROBERT & BENEZRA-OBEITER, R 23 SCARLET OAK LN PARAMUS, NJ 07652	8 COVENTRY RD	CLOVERDALE-W
16.34	1.05		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	10 COVENTRY RD	CLOVERDALE-W
16.34	1.06		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	12 COVENTRY RD	CLOVERDALE-W
16.34	1.07		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	14 COVENTRY RD	CLOVERDALE-W
16.34	1.08		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	16 COVENTRY RD	CLOVERDALE-W
16.34	1.09		2	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	18 COVENTRY RD	CLOVERDALE-W
16.34	1.10		1	LAM DEVELOPMENT GROUP, LLC 115 RIVER RD, #103 EDGEWATER, NJ 07020	20 COVENTRY RD	CLOVERDALE-W

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DYKSTRA WALKER
DESIGN DW GROUP PA
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849
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WWW.DYKSTRAWALKER.COM

Thomas F. Graham
THOMAS F. GRAHAM, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 246E03788100

PROPERTY OWNERS LIST

AMENDED PRELIMINARY AND FINAL SUBDIVISION
CLOVERDALE WEST AT CRYSTAL SPRINGS
BLOCK 16.30, LOTS 1 & 1.09-1.16
BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12
BLOCK 16.36, LOT 1
COVENTRY ROAD
TOWNSHIP OF HARDYSTON
SUSSEX COUNTY NEW JERSEY

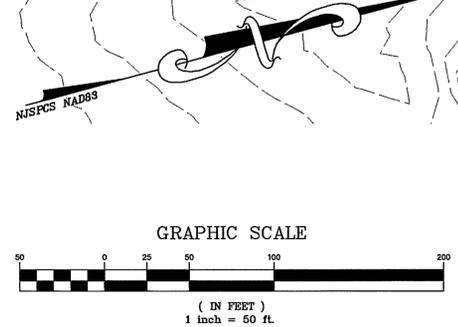
DW

SCALE: N/A
JOB NO.: 18064
DRAWN BY: MDF
CHECKED BY: TFG
DATE: 8/13/20
SHEET NO. 2 of 14



NOTES AND REFERENCES:

- FILED MAP TITLED "FINAL SUBDIVISION PLAT, PHASE 1, SHOTMEYER TRACT, BLOCK 16, LOT 1, WILD TURKEY WAY, TOWNSHIP OF HARDYSTON, SUSSEX COUNTY, NEW JERSEY" PREPARED BY DYKSTRA WALKER DESIGN GROUP, DATED 12/21/04, REVISED THROUGH 2/8/05 AND FILED IN THE SUSSEX COUNTY CLERK'S OFFICE ON 2/14/05 AS MAP NO. 1353.
- FILED MAP TITLED "FINAL SUBDIVISION PLAT, GRAND CASCADES HOTEL SUBDIVISION AT CRYSTAL SPRINGS - AKA SHOTMEYER TRACT - PHASE 2, BLOCK 16, LOTS 1, 1.02, 6.01 & 6.02, WILD TURKEY WAY, TOWNSHIP OF HARDYSTON, SUSSEX COUNTY, NEW JERSEY", PREPARED BY DYKSTRA WALKER DESIGN GROUP, DATED 9/1/04 AND LAST REVISED 8/31/07, FILED IN THE SUSSEX COUNTY CLERK'S OFFICE ON 1/9/08 AS REGISTERED MAP NO. 1441.
- FILED MAP TITLED "FINAL SUBDIVISION PLAT, HIGHGROVE AT CRYSTAL SPRINGS, PHASE 2, BLOCK 16.32, LOTS 1 & 2, & BLOCK 16.33 LOT 1, WILD TURKEY WAY, DEVON COURT & CRYSTAL SPRINGS ROAD, TOWNSHIP OF HARDYSTON, SUSSEX COUNTY, NEW JERSEY" PREPARED BY DYKSTRA WALKER DESIGN GROUP, DATED 8/12/19, REVISED THROUGH 9/9/19 AND FILED IN THE SUSSEX COUNTY CLERK'S OFFICE ON 2/4/20 AS MAP NO. 1490.
- PLANS TITLED "CLOVERDALE - WEST PHASE IA, BLOCK 16.28 - LOTS 1 & 2, BLOCK 16.30 - LOT 1, COVENTRY ROAD, WOODCOTT DRIVE, TARRINGTON ROAD & WILD TURKEY WAY, TOWNSHIP OF HARDYSTON, SUSSEX COUNTY, NEW JERSEY" PREPARED BY DYKSTRA WALKER DESIGN GROUP, DATED 1/5/10, LAST REVISED 7/9/10 AND FILED IN THE SUSSEX COUNTY CLERK'S OFFICE ON 8/3/10 AS MAP NO. 1459.
- PLANS TITLED "FINAL SUBDIVISION PLAT, PEMBRIDGE AT CRYSTAL SPRINGS, PHASE 1, BLOCK 16.29, LOT 1, TARRINGTON ROAD, TOWNSHIP OF HARDYSTON, SUSSEX COUNTY, NEW JERSEY" PREPARED BY DYKSTRA WALKER DESIGN GROUP, DATED 1/5/10, LAST REVISED 4/20/10 AND FILED IN THE SUSSEX COUNTY CLERK'S OFFICE ON 8/3/10 AS MAP NO. 1458.
- EXISTING EASEMENTS SHOWN HEREON ARE DEFINED WITH METES AND BOUNDS AND AREAS ON PRIOR SUBDIVISION PLATS REFERENCED ABOVE.
- HORIZONTAL DATUM IS NAD 83-96 PER GEOD CORPORATION GPS POINTS 4 AND 6. THE COORDINATES USED ON THIS PLAN ARE LOCAL GROUND COORDINATES BASED ON A CONVENTIONAL GROUND TRAVERSE FROM SAID GPS POINTS.
- MUNICIPAL BOUNDARY LINE ESTABLISHED BASED ON MAP TITLED "GRADING PLAN FOR PROPOSED SOIL REMOVAL, LOT 1.02, BLOCK 16, IN THE TOWNSHIP OF HARDYSTON, SUSSEX COUNTY, NEW JERSEY" PREPARED BY JOHN ZANETAKES ASSOCIATES, INC., DATED 7/24/89.
- PARTIAL TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON BASED ON AERIAL TOPOGRAPHY PROVIDED BY GEOD CORPORATION AERIAL PHOTOGRAMMETRY & LAND SURVEYING, DATED 9/14/18



DATE	REVISION

DYKSTRA WALKER DESIGN GROUP PA
 PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849
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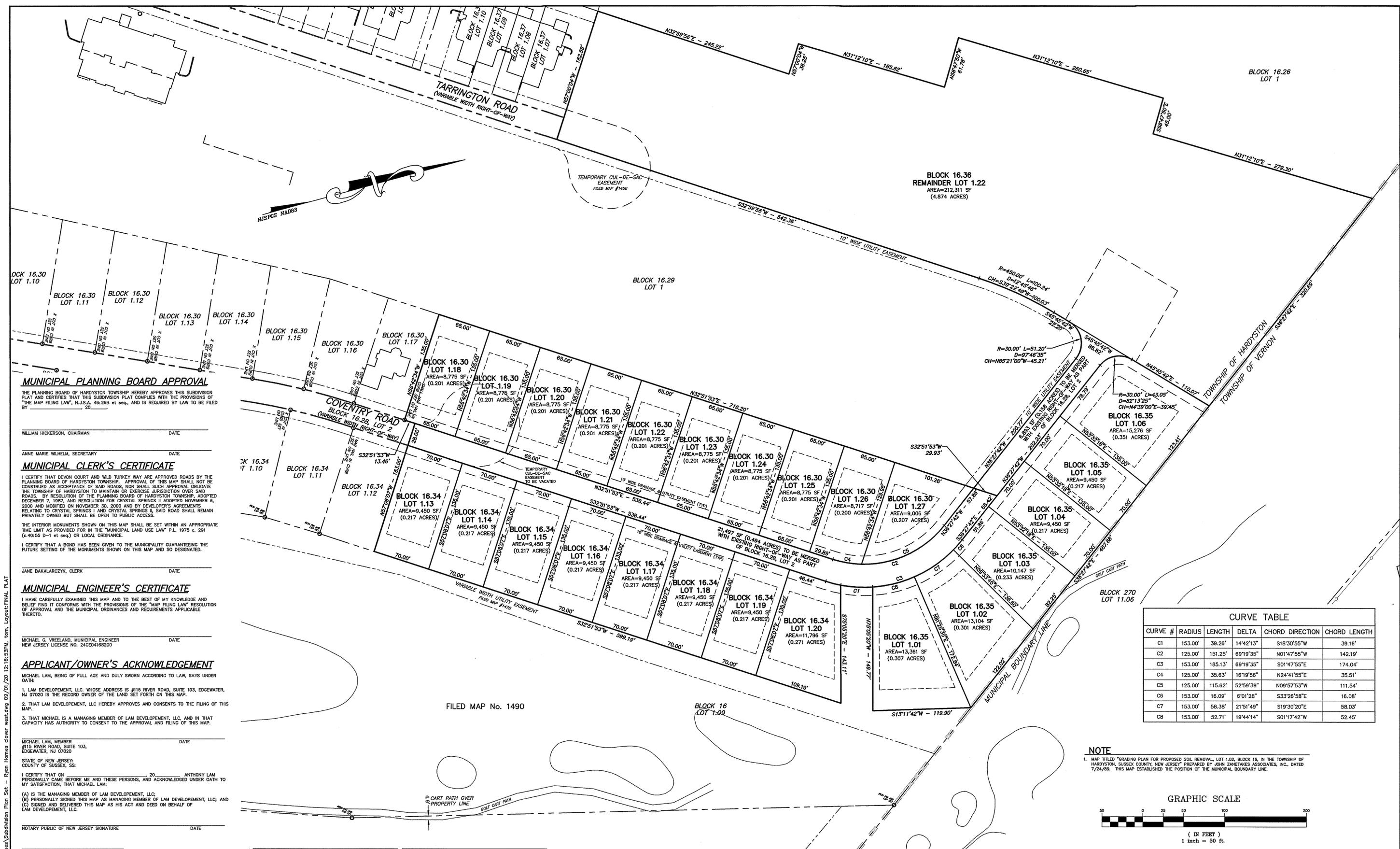
Thomas F. Graham
THOMAS F. GRAHAM, P.E.
 PROFESSIONAL ENGINEER, N.J. LIC. NO. 24CE03788100

EXISTING CONDITIONS PLAN

AMENDED PRELIMINARY AND FINAL SUBDIVISION
CLOVERDALE WEST AT CRYSTAL SPRINGS
 BLOCK 16.30, LOTS 1 & 1.09-1.16
 BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12
 BLOCK 16.36, LOT 1
 COVENTRY ROAD
 TOWNSHIP OF HARDYSTON
 SUSSEX COUNTY NEW JERSEY

SCALE: 1" = 50'
 JOB NO.: 18064
 DRAWN BY: MDF
 CHECKED BY: TFC
 DATE: 8/13/20
 SHEET NO. 3 of 14

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MUNICIPAL PLANNING BOARD APPROVAL
 THE PLANNING BOARD OF HARDYSTON TOWNSHIP HEREBY APPROVES THIS SUBDIVISION PLAT AND CERTIFIES THAT THIS SUBDIVISION PLAT COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW", N.J.S.A. 46:25B et seq., AND IS REQUIRED BY LAW TO BE FILED BY _____ 20____.

WILLIAM HICKERSON, CHAIRMAN DATE _____
 ANNE MARIE WILHELM, SECRETARY DATE _____

MUNICIPAL CLERK'S CERTIFICATE
 I CERTIFY THAT DEVON COURT AND WILD TURKEY WAY ARE APPROVED ROADS BY THE PLANNING BOARD OF HARDYSTON TOWNSHIP. APPROVAL OF THIS MAP SHALL NOT BE CONSTRUED AS ACCEPTANCE OF SAID ROADS, NOR SHALL SUCH APPROVAL OBLIGATE THE TOWNSHIP OF HARDYSTON TO MAINTAIN OR EXERCISE JURISDICTION OVER SAID ROADS. BY RESOLUTION OF THE PLANNING BOARD OF HARDYSTON TOWNSHIP, ADOPTED DECEMBER 7, 1987, AND RESOLUTION FOR CRYSTAL SPRINGS II ADOPTED NOVEMBER 6, 2000 AND MODIFIED ON NOVEMBER 30, 2000 AND BY DEVELOPER'S AGREEMENTS RELATING TO CRYSTAL SPRINGS I AND CRYSTAL SPRINGS II, SAID ROAD SHALL REMAIN PRIVATELY OWNED BUT SHALL BE OPEN TO PUBLIC ACCESS.
 THE INTERIOR MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN AN APPROPRIATE TIME LIMIT AS PROVIDED FOR IN THE "MUNICIPAL LAND USE LAW" P.L. 1975 c. 291 (c.40:55 D-1 et seq.) OR LOCAL ORDINANCE.
 I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS SHOWN ON THIS MAP AND SO DESIGNATED.

JANE BAKALARCZYK, CLERK DATE _____

MUNICIPAL ENGINEER'S CERTIFICATE
 I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW" RESOLUTION OF APPROVAL AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

MICHAEL G. VRELAND, MUNICIPAL ENGINEER DATE _____
 NEW JERSEY LICENSE NO. 24GE04168200

APPLICANT/OWNER'S ACKNOWLEDGEMENT
 MICHAEL LAM, BEING OF FULL AGE AND DULY SWORN ACCORDING TO LAW, SAYS UNDER OATH:
 1. I AM DEVELOPMENT, LLC, WHOSE ADDRESS IS #115 RIVER ROAD, SUITE 103, EDGEWATER, NJ 07020 IS THE RECORD OWNER OF THE LAND SET FORTH ON THIS MAP.
 2. THAT I AM DEVELOPMENT, LLC HEREBY APPROVES AND CONSENTS TO THE FILING OF THIS MAP.
 3. THAT MICHAEL IS A MANAGING MEMBER OF LAW DEVELOPMENT, LLC, AND IN THAT CAPACITY HAS AUTHORITY TO CONSENT TO THE APPROVAL AND FILING OF THIS MAP.

MICHAEL LAM, MEMBER DATE _____
 #115 RIVER ROAD, SUITE 103, EDGEWATER, NJ 07020
 STATE OF NEW JERSEY: COUNTY OF SUSSEX, SS: _____ 20____ ANTHONY LAM
 I CERTIFY THAT ON _____ PERSONALLY CAME BEFORE ME AND THESE PERSONS, AND ACKNOWLEDGED UNDER OATH TO MY SATISFACTION, THAT MICHAEL LAM:
 (A) IS THE MANAGING MEMBER OF LAW DEVELOPMENT, LLC;
 (B) PERSONALLY SIGNED THIS MAP AS MANAGING MEMBER OF LAW DEVELOPMENT, LLC; AND
 (C) SIGNED AND DELIVERED THIS MAP AS HIS ACT AND DEED ON BEHALF OF LAW DEVELOPMENT, LLC.

NOTARY PUBLIC OF NEW JERSEY SIGNATURE _____ DATE _____

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 6/19/18, LAST REVISED 8/6/18 MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS, AS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS, HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW". I FURTHER CERTIFY THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.
 KENNETH D. DYKSTRA, PROFESSIONAL LAND SURVEYOR DATE _____
 NEW JERSEY LICENSE NO. 24GB03297200

SUSSEX COUNTY PLANNING BOARD
 S.C.P.B. # _____
 FINAL PLAT RECEIVED _____
 ACTION _____
 DATE OF ACTION _____
 AUTHORIZED SIGNATURE _____

SUSSEX COUNTY CLERK'S OFFICE
 JEFFREY PARROTT - CLERK
 SIGNED BY _____
 FILING DATE _____
 REGISTERED MAP NO. _____

DATE	REVISION

DYKSTRA WALKER DESIGN GROUP PA
 PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849
 PHONE (973) 663-6540 - FAX (973) 663-0042
 WWW.DYKSTRAWALKER.COM
 KENNETH D. DYKSTRA
 PROFESSIONAL ENGINEER AND LAND SURVEYOR N.J. LIC. No. 24GB03297200

CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	153.00'	39.26'	14°42'13"	S16°30'55"W	39.16'
C2	125.00'	151.25'	69°19'35"	N01°47'55"W	142.19'
C3	153.00'	185.13'	69°19'35"	S01°47'55"E	174.04'
C4	125.00'	35.63'	16°19'56"	N24°41'55"E	35.51'
C5	125.00'	115.62'	52°59'39"	N09°57'53"W	111.54'
C6	153.00'	16.09'	6°01'28"	S33°26'58"E	16.08'
C7	153.00'	58.38'	21°51'49"	S19°30'20"E	58.03'
C8	153.00'	52.71'	19°44'14"	S01°17'42"W	52.45'

NOTE
 1. MAP TITLED "GRADING PLAN FOR PROPOSED SOIL REMOVAL, LOT 1.02, BLOCK 16, IN THE TOWNSHIP OF HARDYSTON, SUSSEX COUNTY, NEW JERSEY" PREPARED BY JOHN ZANZANES ASSOCIATES, INC., DATED 7/24/89. THIS MAP ESTABLISHED THE POSITION OF THE MUNICIPAL BOUNDARY LINE.
GRAPHIC SCALE
 0 25 50 100 200
 (IN FEET)
 1 inch = 50 ft.

FINAL SUBDIVISION PLAT
 AMENDED PRELIMINARY AND FINAL SUBDIVISION
CLOVERDALE WEST AT CRYSTAL SPRINGS
 BLOCK 16.30, LOTS 1 & 1.09-1.16
 BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12
 BLOCK 16.36, LOT 1
 COVENTRY ROAD
 TOWNSHIP OF HARDYSTON
 SUSSEX COUNTY NEW JERSEY
 SCALE: 1" = 50'
 JOB NO.: 18064
 DRAWN BY: MDF
 CHECKED BY: TFG
 DATE: 8/13/20
 SHEET NO. 4 OF 14

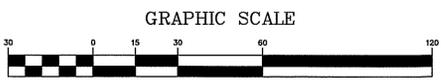
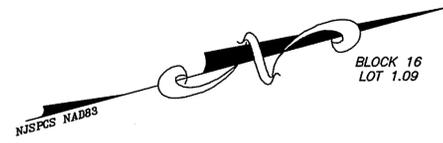
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TYPICAL BUILDING PLANTING
NOT TO SCALE

PLANT SCHEDULE TYPICAL LOT

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QUANTITY
DECIDUOUS TREES					
AS	Acer Saccharum	Sugar Maple	2 1/2" Cal.	B&B	9
PC	Pyrus Calleryana Bradford	Bradford Callery Pear	2 1/2" Cal.	B&B	10
TCL	Tilia Cordata	Little Leaf Linden	2 1/2" Cal.	B&B	10
QC	Quercus Coccinea	Scarlet Oak	2 1/2" Cal.	B&B	9
BROADLEAF EVERGREEN SHRUB					
CL	Cornus Lutea	Yellowtwig Dogwood	3-4'	B&B	38
IGC	Ilex Glabra Compacta	Compact Inkberry	2-2 1/2'	B&B	418
SJ	Spiraea Japonica 'Shibori'	Shibori Spirea	2-2 1/2'	B&B	266
CA	Caenothus Americanus	New Jersey Tea	2-2 1/2'	B&B	380



- NOTES:**
- PRIOR TO CONSTRUCTION OF RETAINING WALLS IN EXCESS OF 6 FEET IN HEIGHT OR TIERED RETAINING WALLS, CALCULATIONS AND DESIGN PLANS SHALL BE PROVIDED TO THE SATISFACTION OF THE PLANNING BOARD ENGINEER. GEGRID SHALL BE PROHIBITED IN ALL UTILITY EASEMENTS.
 - FINAL SANITARY SEWER DESIGN.
 - GUIDERAIL TO BE CONSTRUCTED ALONG GOLF CART PATH IN LOCATIONS DETERMINED TO BE APPROPRIATE BY THE TOWNSHIP ENGINEER BASED ON FIELD CONDITIONS.
 - THERE SHALL BE NO CONNECTION BETWEEN ANY IRRIGATION SYSTEM AND THE POTABLE WATER SYSTEM.
 - PRESSURE REDUCING VALVES SHALL BE INSTALLED WITHIN THE UNITS IN ACCORDANCE WITH THE PLUMBING CODE.
 - GEGRID SHALL BE PROHIBITED WITHIN UTILITY EASEMENTS.

- NOTES:**
- THERE SHALL BE NO CONNECTION BETWEEN ANY IRRIGATION SYSTEM AND THE POTABLE WATER SYSTEM.
 - ALL TREES AND SHRUBS SHALL BE PLANTED OUTSIDE UTILITY EASEMENTS AT A SUFFICIENT DISTANCE FROM ANY WATER OR SEWER MAIN.

ESTIMATED RESIDENTIAL WATER DEMAND (N.J.A.C. 5:21-5.1)

TYPE/SIZE OF HOUSING UNIT	WATER DEMAND PER UNIT	NUMBER OF UNITS	DEMAND (NUMBER OF UNITS X WATER DEMAND PER UNIT)
4 BR SINGLE-FAMILY	395 GALLONS PER DAY	38	PREVIOUSLY APPROVED 15,010 GALLONS PER DAY
3 BR SINGLE-FAMILY	320 GALLONS PER DAY	39	PROPOSED TOTAL 12,480 GALLONS PER DAY

THE ORIGINAL APPLICATION FOR THE SHOTMEYER TRACT SECTION CONSISTED OF (38) 4-BEDROOM SINGLE-FAMILY RESIDENTIAL DWELLING UNITS.
THIS AMENDED APPLICATION IS FOR (39) 3-BEDROOM SINGLE-FAMILY RESIDENTIAL DWELLING UNITS.

DATE	REVISION

DYKSTRA WALKER DESIGN GROUP
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
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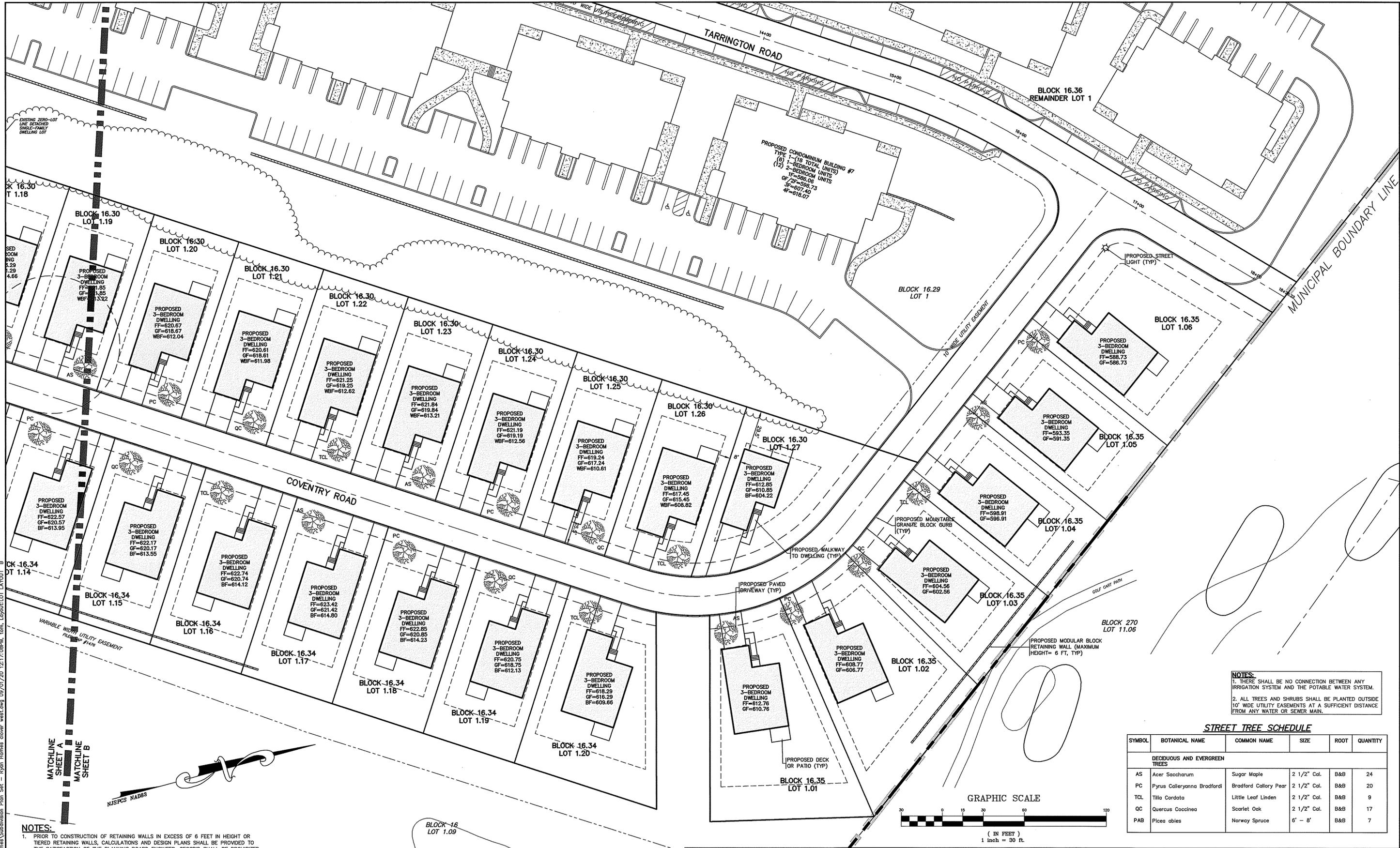
Thomas F. Graham
THOMAS F. GRAHAM, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03788100

LOT LAYOUT, LIGHTING, & LANDSCAPING PLAN
SHEET 'A'

AMENDED PRELIMINARY AND FINAL SUBDIVISION
CLOVERDALE WEST AT CRYSTAL SPRINGS
BLOCK 16.30, LOTS 1 & 1.09-1.16
BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12
BLOCK 16.36, LOT 1
COVENTRY ROAD
TOWNSHIP OF HARDYSTON
SUSSEX COUNTY NEW JERSEY

SCALE: 1" = 30'
JOB NO.: 18064
DRAWN BY: MDF
CHECKED BY: TFG
DATE: 8/13/20
SHEET NO. 5 OF 14

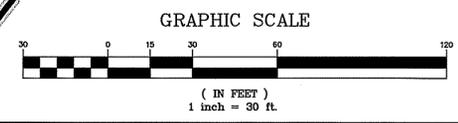
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NOTES:
 1. THERE SHALL BE NO CONNECTION BETWEEN ANY IRRIGATION SYSTEM AND THE POTABLE WATER SYSTEM.
 2. ALL TREES AND SHRUBS SHALL BE PLANTED OUTSIDE 10' WIDE UTILITY EASEMENTS AT A SUFFICIENT DISTANCE FROM ANY WATER OR SEWER MAIN.

STREET TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QUANTITY
DECIDUOUS AND EVERGREEN TREES					
AS	Acer Saccharum	Sugar Maple	2 1/2" Cal.	B&B	24
PC	Pyrus Calleryana Bradfordi	Bradford Callery Pear	2 1/2" Cal.	B&B	20
TCL	Tilia Cordata	Little Leaf Linden	2 1/2" Cal.	B&B	9
QC	Quercus Coccinea	Scarlet Oak	2 1/2" Cal.	B&B	17
PAB	Picea abies	Norway Spruce	6' - 8'	B&B	7



- NOTES:**
- PRIOR TO CONSTRUCTION OF RETAINING WALLS IN EXCESS OF 6 FEET IN HEIGHT OR TIERED RETAINING WALLS, CALCULATIONS AND DESIGN PLANS SHALL BE PROVIDED TO THE SATISFACTION OF THE PLANNING BOARD ENGINEER. GEGRID SHALL BE PROHIBITED IN ALL UTILITY EASEMENTS.
 - FINAL SANITARY SEWER DESIGN.
 - GUIDERAIL TO BE CONSTRUCTED ALONG GOLF CART PATH IN LOCATIONS DETERMINED TO BE APPROPRIATE BY THE TOWNSHIP ENGINEER BASED ON FIELD CONDITIONS.
 - THERE SHALL BE NO CONNECTION BETWEEN ANY IRRIGATION SYSTEM AND THE POTABLE WATER SYSTEM.
 - PRESSURE REDUCING VALVES SHALL BE INSTALLED WITHIN THE UNITS IN ACCORDANCE WITH THE PLUMBING CODE.
 - GEGRID SHALL BE PROHIBITED WITHIN UTILITY EASEMENTS.

ESTIMATED RESIDENTIAL WATER DEMAND (N.J.A.C. 5:21-5.1)

TYPE/SIZE OF HOUSING UNIT	WATER DEMAND PER UNIT	NUMBER OF UNITS	DEMAND (NUMBER OF UNITS X WATER DEMAND PER UNIT)
4 BR SINGLE-FAMILY	395 GALLONS PER DAY	38	PREVIOUSLY APPROVED 15,010 GALLONS PER DAY
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Thomas F. Graham
THOMAS F. GRAHAM, P.E.
 PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03788100

LOT LAYOUT, LIGHTING, & LANDSCAPING PLAN
SHEET 'B'
 AMENDED PRELIMINARY AND FINAL SUBDIVISION
CLOVERDALE WEST AT CRYSTAL SPRINGS
 BLOCK 16.30, LOTS 1 & 1.09-1.16
 BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12
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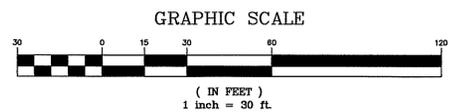
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 DRAWN BY: MDF
 CHECKED BY: TFG
 DATE: 8/13/20
 SHEET NO. 6 OF 14

J:\yada\PROJ\18064\dwg\Ryan_Homes\Subdivision Plan Set - Ryan Homes clover west.dwg, LOT LAYOUT, B, 9/17/2020 12:17:08 PM, tom.1-Canon TX-3000 24x36.pct, 24"x36" (ARCH) D0, 11
 J:\yada\PROJ\18064\dwg\Ryan_Homes\Subdivision Plan Set - Ryan Homes clover west.dwg, 09/07/20 12:17:08 PM, tom.1-Canon TX-3000 24x36.pct, 24"x36" (ARCH) D0, 11
 J:\yada\PROJ\18064\dwg\Ryan_Homes\Subdivision Plan Set - Ryan Homes clover west.dwg, 09/07/20 12:17:08 PM, tom.1-Canon TX-3000 24x36.pct, 24"x36" (ARCH) D0, 11



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NOTE:
THE INDIVIDUAL GRADING PLAN FOR EACH LOT WILL INDICATE THAT A DRYWELL WILL BE PROVIDED TO COLLECT ROOF RUN-OFF.



DATE	REVISION

DYKSTRA WALKER
DESIGN GROUP P.A.

PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
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Thomas F. Graham
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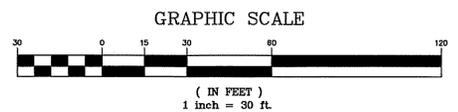
GRADING PLAN - SHEET 'A'

AMENDED PRELIMINARY AND FINAL SUBDIVISION
CLOVERDALE WEST AT CRYSTAL SPRINGS
BLOCK 16.30, LOTS 1 & 1.09-1.16
BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12
BLOCK 16.36, LOT 1
COVENTRY ROAD
TOWNSHIP OF HARDYSTON
SUSSEX COUNTY NEW JERSEY

SCALE: 1" = 30'
JOB NO.: 18064
DRAWN BY: MDF
CHECKED BY: TFG
DATE: 8/13/20
SHEET NO. 7 OF 14



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CASCADES GOLF HOLE #9

MATCHLINE SHEET A
MATCHLINE SHEET B

DATE	REVISION

DYKSTRA WALKER DESIGN GROUP, P.A.
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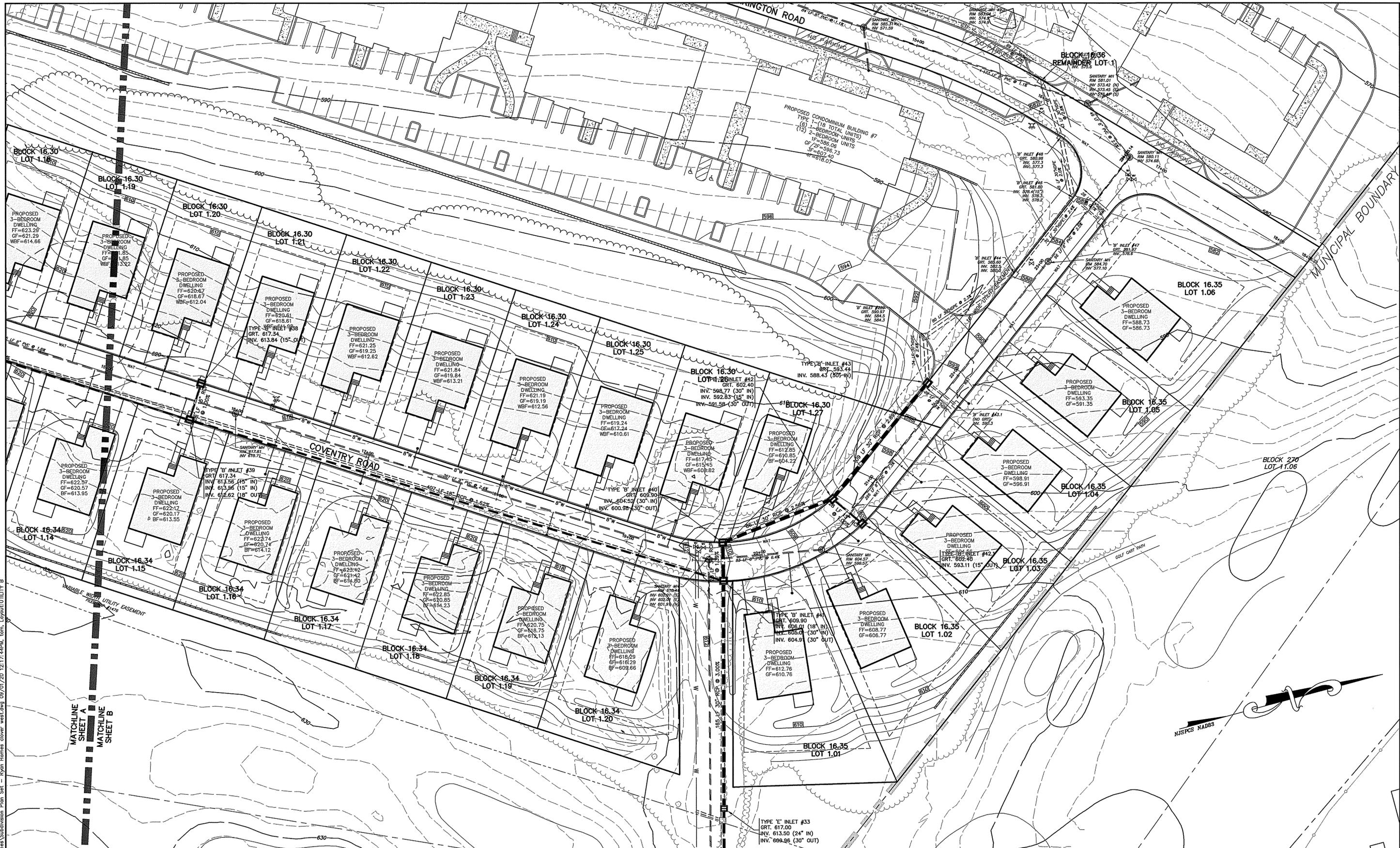
Thomas F. Graham
THOMAS F. GRAHAM, P.E.
 PROFESSIONAL ENGINEER, N.J. LIC. NO. 246E03788100

UTILITY PLAN - SHEET 'A'

AMENDED PRELIMINARY AND FINAL SUBDIVISION
CLOVERDALE WEST AT CRYSTAL SPRINGS
 BLOCK 16.30, LOTS 1 & 1.09-1.16
 BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12
 BLOCK 16.36, LOT 1
 COVENTRY ROAD
 TOWNSHIP OF HARDYSTON
 SUSSEX COUNTY NEW JERSEY

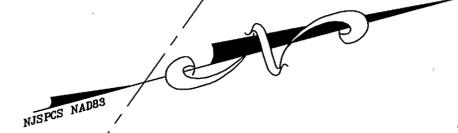
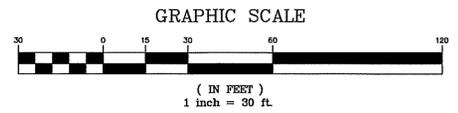
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SCALE: 1" = 30'
 JOB NO.: 18064
 DRAWN BY: MDF
 CHECKED BY: TFG
 DATE: 8/13/20
 SHEET NO. 9 OF 14



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MATCHLINE
 SHEET A
 MATCHLINE
 SHEET B



DYKSTRA WALKER DESIGN GROUP PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 663-6540 - FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM		UTILITY PLAN - SHEET 'B' AMENDED PRELIMINARY AND FINAL SUBDIVISION CLOVERDALE WEST AT CRYSTAL SPRINGS BLOCK 16.30, LOTS 1 & 1.09-1.16 BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12 BLOCK 16.36, LOT 1 COVENTRY ROAD TOWNSHIP OF HARDYSTON SUSSEX COUNTY NEW JERSEY		 SCALE: 1" = 30' JOB NO.: 18064 DRAWN BY: MDF CHECKED BY: TFG DATE: 8/13/20 SHEET NO. 10 OF 14
DATE	REVISION	THOMAS F. GRAHAM, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24603788100		



AREA OF SOIL RESTORATION= 3.0 ACRES

TOPSOIL STOCKPILE (TYP)

TEMPORARY SEDIMENT FILTER FENCE (TYP)

TEMPORARY INTER FILTER PROTECTION DEVICE (TYP)

RECOMMENDED SOIL COMPACTION TEST LOCATION (TYP)

LIMIT OF SOIL RESTORATION (TYP)

LIMIT OF DISTURBANCE AREA OF DISTURBANCE= 10.0 ACRES



CASCADES GOLF HOLE #9

GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

DATE	REVISION

DYKSTRA WALKER DESIGN GROUP PA
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SOIL EROSION & SEDIMENT CONTROL PLAN

AMENDED PRELIMINARY AND FINAL SUBDIVISION
CLOVERDALE WEST AT CRYSTAL SPRINGS
 BLOCK 16.30, LOTS 1 & 1.09-1.16
 BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12
 BLOCK 16.36, LOT 1
 COVENTRY ROAD
 TOWNSHIP OF HARDYSTON
 SUSSEX COUNTY NEW JERSEY

SCALE: 1" = 50'
JOB NO.: 18064
DRAWN BY: MDF
CHECKED BY: TFG
DATE: 8/13/20
SHEET NO. 11 of 14

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SOIL EROSION AND SEDIMENT CONTROL NOTES:

- THE DISTRICT SHALL BE REPRESENTED AT THE PRECONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER, CONTRACTORS, AND UTILITY REPRESENTATIVES. IF THE TOWNSHIP ENGINEER DOES NOT SCHEDULE A PRECONSTRUCTION MEETING, IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT TO SCHEDULE ONE PRIOR TO ANY LAND DISTURBANCE.
- ALL SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- EXCAVATED SOIL MATERIAL SHALL NOT BE PLACED ADJACENT TO RIVERS, STREAMS OR BODIES OF WATER IN A MANNER THAT WILL CAUSE IT TO BE WASHED AWAY BY HIGH WATER OR RUNOFF. EXCESS BORROW MATERIAL REMOVED FROM THE CONSTRUCTION SITE SHALL BE STABILIZED AT THE SITE OF PLACEMENT.
- ALL DISTURBED AREAS NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN 60 DAYS OF DISTURBANCE SHALL BE TEMPORARILY STABILIZED.
- IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT VEGETATIVE COVER. SPECIFIED RATES AND LOCATIONS SHALL BE AS ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY".
- A CRUSHED-STONE VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS DRIVE INTERSECTS A PAVED ROADWAY. THE BLANKET WILL BE OF SUFFICIENT SIZE TO REDUCE OFFSITE TRACKING OF SEDIMENT BY CONSTRUCTION TRAFFIC AND WILL BE MAINTAINED IN GOOD ORDER UNTIL ALL DRIVEWAY AREAS ARE STABILIZED. THE BLANKET SHALL BE COMPOSED OF ASTM C-33, SIZE No. 2 OR 3, NOT LESS THAN 6" DEEP AND NOT LESS THAN THE FULL WIDTH OF THE POINTS OF INGRESS OR EGRESS.
- MULCHING SHALL BE DONE AT THE RATE OF 80 LBS/ 1000 SQUARE FEET WITH UNROTTED SALT HAY AND ANCHORED IMMEDIATELY AFTER PLACEMENT.
- ALL REVISIONS, AFTER DISTRICT CERTIFICATION HAS BEEN GRANTED, SHALL BE FORWARDED TO THE SUSSEX COUNTY SOIL CONSERVATION DISTRICT FOR REVIEW. A LETTER OF EXPLANATION SHALL ACCOMPANY ALL REVISIONS.
- THE SUSSEX COUNTY SCD MUST BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- THE OWNER/APPLICANT WILL OBTAIN THE DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO ANY OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE BEFORE ISSUANCE.
- ALL TOPSOIL STRIPPED AND STOCKPILED FOR USE IN FINAL GRADING SHALL RECEIVE TEMPORARY SEEDING.
- TOTAL DISTURBED AREA = 26 ACRES.
- DURING LAND DISTURBANCE ACTIVITIES OR CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENTATION BEYOND THOSE SHOWN ON THE APPROVED PLANS SHALL BE INSTALLED AS DIRECTED BY THE MUNICIPAL ENGINEER OR SUSSEX COUNTY SOIL CONSERVATION DISTRICT.
- THE APPLICANT IS REQUIRED TO HAVE A COPY OF THE CERTIFIED PLAN AT THE CONSTRUCTION SITE.
- DUST IS TO BE CONTROLLED WITH WATER, CALCIUM CHLORIDE OR OTHER METHOD APPROVED BY THE SOIL CONSERVATION DISTRICT.
- RESIDENTIAL DEVELOPMENT CONTROL MEASURES SHALL/WILL APPLY TO DWELLING CONSTRUCTION ON INDIVIDUAL LOTS AND NOTATION THAT SUCH CONTROL MEASURES SHALL APPLY TO SUBSEQUENT OWNERS IF TITLE IS CONVEYED.
- FOR SUBDIVISION PROJECT (ROADWAYS AND DRAINAGE PLANS) - SOIL EROSION AND SEDIMENT CONTROL PLANS WILL BE DEVELOPED FOR EACH LOT AS DEVELOPED.
- TO THE MAXIMUM EXTENT PRACTICAL, ALL VEGETATED AREA NOT NEED FOR CONSTRUCTION SHALL BE LEFT UNDISTURBED FOR AS LONG AS POSSIBLE.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL, AT A 2 TON/ACRE RATE, ACCORDING TO STATE STANDARDS.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED REGULARLY.
- DURING AND AFTER CONSTRUCTION, THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT.
- ALL TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES OR SEDIMENT BARRIERS. SEE STANDARDS.
- ALL MATERIAL SHALL BE FREE FROM DEBRIS, PERISHABLE OR COMBUSTIBLE MATERIAL, AND FROZEN OR WET EARTH OR STONE LARGER THAN SPECIFIED BY THE ENGINEER.
- ALL TOPSOIL STRIPPED AND STOCKPILED FOR USE IN FINAL GRADING SHALL RECEIVE TEMPORARY SEEDING.
- TO THE MAXIMUM EXTENT PRACTICAL, ALL VEGETATED AREA NOT NEED FOR CONSTRUCTION SHALL BE LEFT UNDISTURBED FOR AS LONG AS POSSIBLE.
- FINAL STABILIZATION OF ALL LAND DISTURBANCES ASSOCIATED WITH UNDERGROUND UTILITIES, IRRESPECTIVE OF PHASING, IS THE ULTIMATE RESPONSIBILITY OF THE OWNER.
- THERE IS NO EXCESS MATERIAL TO BE REMOVED FROM THE SITE. IF EXCESS MATERIALS ARE TO BE TRANSPORTED TO ANOTHER LOCATION IN SUSSEX COUNTY, THE DISTRICT MUST BE PROVIDED WITH THE NAME, ADDRESS AND BLOCK AND LOT OF THAT LOCATION.

- TOPSOIL STOCKPILE PROTECTION**
- CONSTRUCT TEMPORARY DIVERSION BERM AND/OR HAY BALE BARRIER AROUND STOCKPILE AREA AS REQUIRED.
 - APPLY LESTONE AT A RATE OF 90 LBS/1000 S.F.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F.
 - MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F.

- TEMPORARY STABILIZATION SPECIFICATIONS**
- APPLY GROUND LESTONE AT A RATE OF 90 LBS/1000 S.F.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F. AND WORK INTO 4" DEEP.
 - APPLY SEED MIXTURE: PERENNIAL RYEGRASS AT 20 LBS/ACRE, PERENNIAL RYEGRASS CREEPING RED FESQUE AT 15 LBS/ACRE OR AT 40 LBS/ACRE OR CHEWING RED FESQUE AT 15 LBS/ACRE OR APPROVED EQUAL.
 - MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING APPLY AT A RATE OF 90 LBS/1000 S.F. AND SECURE BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - PLANT SEED BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1, IF POSSIBLE.

- PERMANENT STABILIZATION SPECIFICATIONS**
- APPLY TOPSOIL TO A DEPTH OF 4".
 - APPLY GROUND LESTONE AT A RATE OF 90 LBS/1000 S.F.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F.
 - APPLY SEED MIXTURE: PERENNIAL RYEGRASS AT 20 LBS/ACRE, PERENNIAL RYEGRASS CREEPING RED FESQUE AT 15 LBS/ACRE OR 40 LBS/ACRE OR KENTUCKY BLUEGRASS AT 20 LBS/ACRE OR APPROVED EQUAL.
 - MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F. ACCORDING TO THE NEW JERSEY STANDARDS.
 - ANCHOR MULCH WITH EMULSIFIED ASPHALT (SS-1) APPLIED AT A RATE OF 1 GAL./1000 S.F. OTHER APPROVED METHODS (I.E. PEG AND TWINE, OR MULCH NETTING) MAY BE USED, IF POSSIBLE, PLANT BETWEEN MARCH 1 AND MAY 15, OR BETWEEN AUGUST 15 AND OCTOBER 1.

SEQUENCE OF CONSTRUCTION-ROADS AND DRAINAGE SYSTEM

- INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, VEHICLE WHEEL CLEANING BLANKET, ETC. AS NOTED ON PLAN. DURATION = 10 DAYS.
 - CLEAR AND GRUB PROPOSED ROADS. DURATION = 20 DAYS.
 - STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND STOCKPILES, PERFORM TEMPORARY STABILIZATION OF STOCKPILES. INSTALL TEMPORARY DIVERSIONS AS SPECIFIED ON PLANS. DURATION = 20 DAYS.
 - ROUGH GRADE ROADWAYS. MAINTAIN TEMPORARY DIVERSIONS. DURATION=60 DAYS.
 - CONSTRUCT DRAINAGE PIPING SYSTEM AND SWALES. FINE GRADE ROADWAYS. INSTALL UTILITIES. PROVIDE INLET PROTECTION AND RIP-RAP. MAINTAIN TEMPORARY DIVERSIONS. DURATION=60 DAYS.
 - REMOVE TEMPORARY SOIL EROSION MEASURES AFTER PERMANENT STABILIZATION IS ESTABLISHED AND APPROVED BY SOIL CONSERVATION DISTRICT. DURATION = 10 DAYS.
 - INSTALL PAVEMENT AND PERMANENT STABILIZATION. DURATION = 30 DAYS.
- TOTAL DURATION = 210 DAYS.
- TOTAL DURATION FOR INDIVIDUAL HOMES TO BE CONSTRUCTED USING THE FOLLOWING SEQUENCE:

DWELLING SEQUENCE OF CONSTRUCTION

- INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, ETC. AS NOTED ON PLAN. DURATION = 1 DAY.
 - STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND STOCKPILES, PERFORM TEMPORARY STABILIZATION OF STOCKPILES. DURATION = 1 DAY.
 - CONSTRUCT PROPOSED DWELLING AND SITE IMPROVEMENTS. DURATION = 120 DAYS.
 - INSTALL PERMANENT STABILIZATION. DURATION = 2 DAYS.
 - REMOVE TEMPORARY SOIL EROSION MEASURES AFTER PERMANENT STABILIZATION IS ESTABLISHED. DURATION = 2 DAYS.
- TOTAL DURATION = 126 DAYS.

STANDARD FOR DUST CONTROL

DEFINITION

THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

PURPOSE

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

CONDITION WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

WATER QUALITY ENHANCEMENT

SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

PLANNING CRITERIA

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1

VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1, AND PERMANENT STABILIZATION WITH SOD, PG. 6-1.

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

TABLE 16-1: DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON		APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADHESIVE TO SEDIMENT BANKS TO FLOCCULATE AND PRECIPITATE SUSPENDED SOLIDS. SEE SEDIMENT BSN STANDARD, P. 26-1.	
POLYACRYLAMIDE (PAM) - DRY SPREAD			
ACIDULATED SOY BEAN SOAP STOCK	NONE	COARSE SPRAY	1200

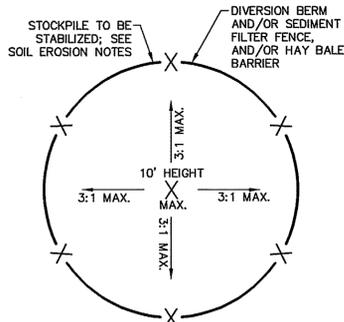
TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING- SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

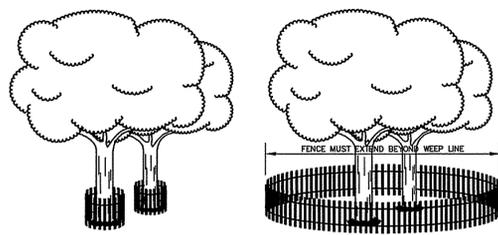
BARRIERS- SQUID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WATES, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE- SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

STONE- COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



TOPSOIL STOCKPILE DETAIL
NOT TO SCALE



TREE PROTECTION
NOT TO SCALE

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

A. SOIL COMPACTION TESTING REQUIREMENTS

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

B. COMPACTION TESTING METHODS

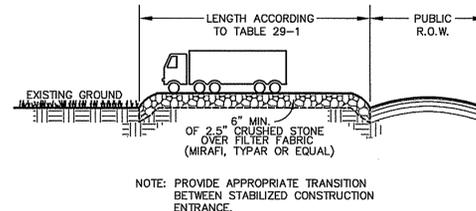
- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 19 "STANDARD FOR LAND GRADING" OF THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

C. PROCEDURES FOR SOIL COMPACTION MITIGATION

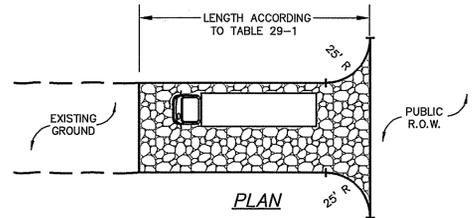
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

TABLE 29-1

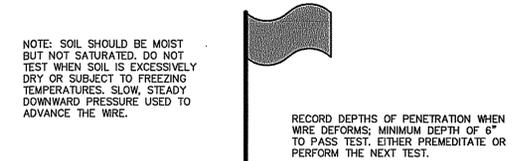
PERCENTAGE SLOPE OF ROADWAY	LENGTH REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0-2%	50 FT	100 FT
2-5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH F.A.B.C. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING BODY.	



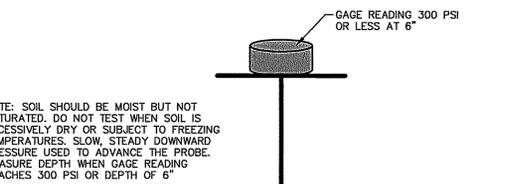
SECTION



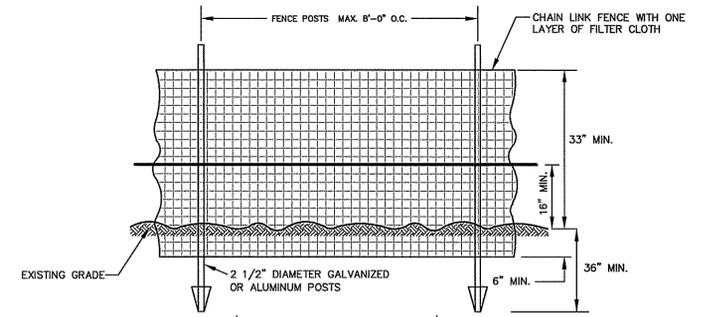
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



PROBING WIRE TEST
15.5 GA. STEEL WIRE (SURVEY FLAG)
NOT TO SCALE



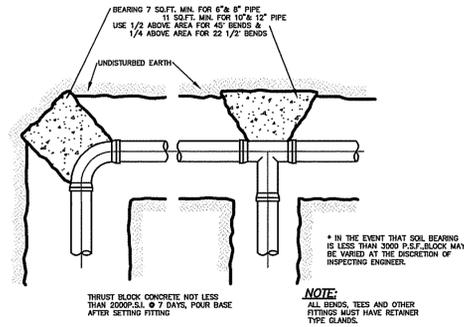
HANDHELD SOIL PENETROMETER TEST
NOT TO SCALE



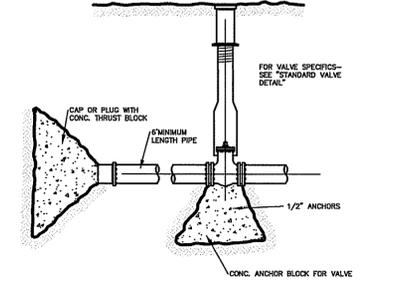
SUPER SILT FENCE
NOT TO SCALE

<p>DYKSTRA WALKER DESIGN GROUP PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 · LAKE HOPATCONG, NJ 07849 PHONE (973) 663-6540 · FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM</p> <p>THOMAS F. GRAHAM, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 246E03788100</p>		<p>CONSTRUCTION NOTES & DETAILS</p> <p>AMENDED PRELIMINARY AND FINAL SUBDIVISION CLOVERDALE WEST AT CRYSTAL SPRINGS BLOCK 16.30, LOTS 1 & 1.09-1.16 BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12 BLOCK 16.36, LOT 1 COVENTRY ROAD TOWNSHIP OF HARDYSTON SUSSEX COUNTY NEW JERSEY</p>	<p>DW</p> <p>SCALE: AS NOTED JOB NO.: 18064 DRAIN BY: MDF CHECKED BY: TFG DATE: 8/13/20 SHEET NO. 12 OF 14</p>
DATE	REVISION		

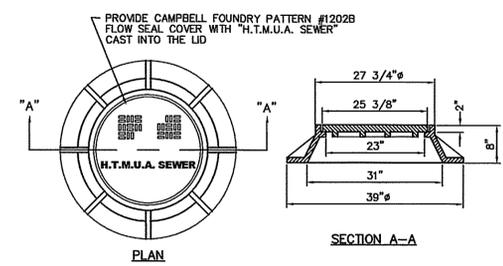
J:\work\PROJ\1818064.dwg Ryan Homes\Subdivision Plan Set - Ryan Homes.dwg 08/13/20 04:31:12PM, mika, Layout:DETAILS (1)



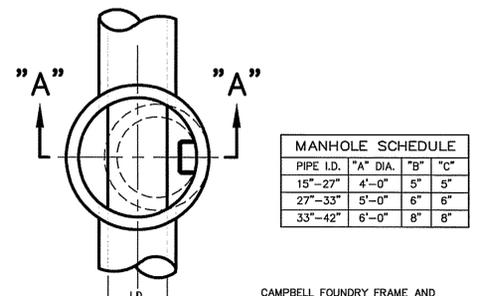
TYPICAL THRUST BLOCK INSTALLATION
N.T.S.



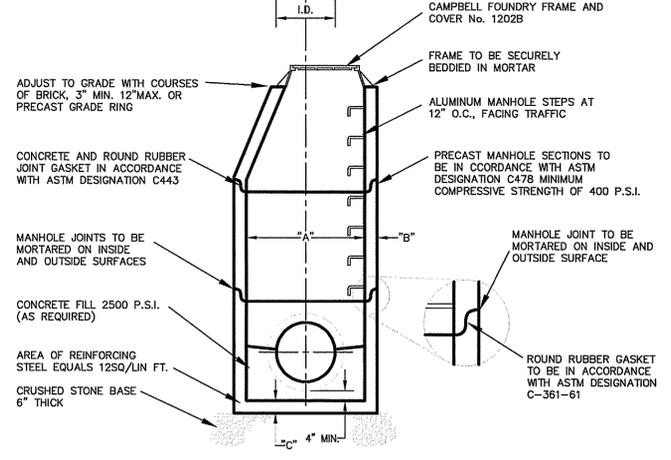
TYPICAL "END OF LINE" DETAIL
N.T.S.



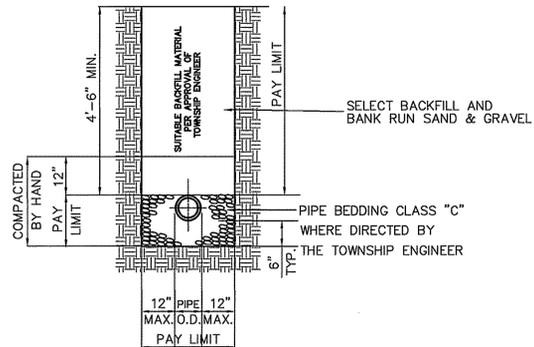
STANDARD MANHOLE FRAME AND COVER ON PAVEMENT
N.T.S.



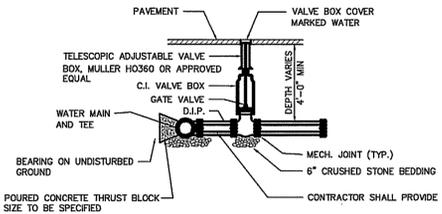
PIPE I.D.	"A" DIA.	"B" DIA.	"C" DIA.
15"-27"	4'-0"	5'	5'
27"-33"	5'-0"	6'	6'
33"-42"	6'-0"	8'	8'



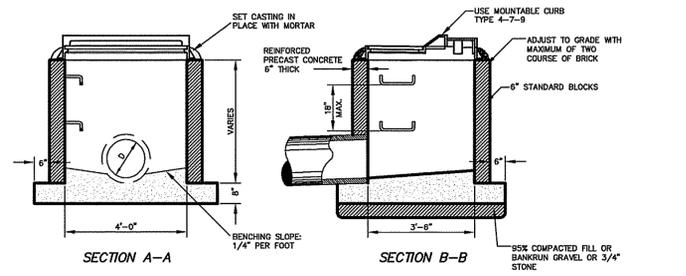
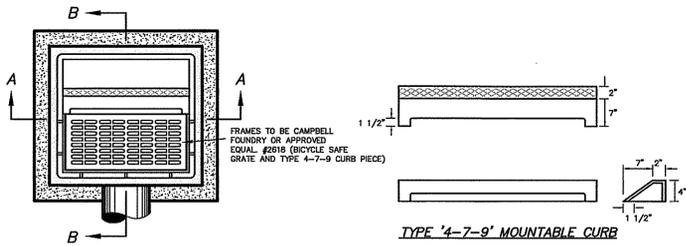
PRECAST STORM DRAINAGE MANHOLE
N.T.S.



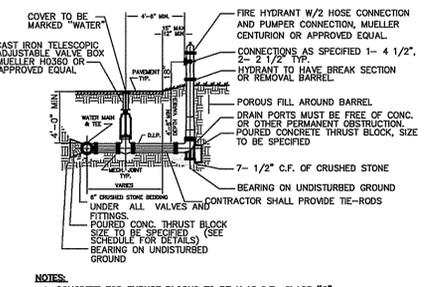
TYPICAL WATER MAIN TRENCH DETAIL
N.T.S.



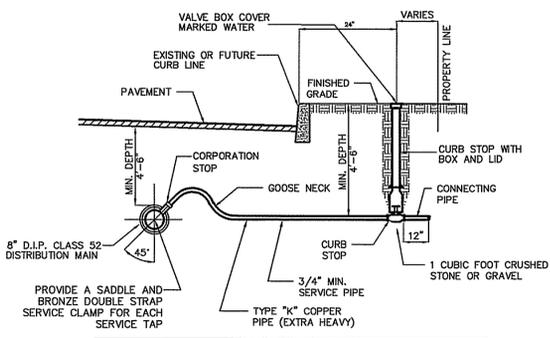
GATE VALVE ASSEMBLY
N.T.S.



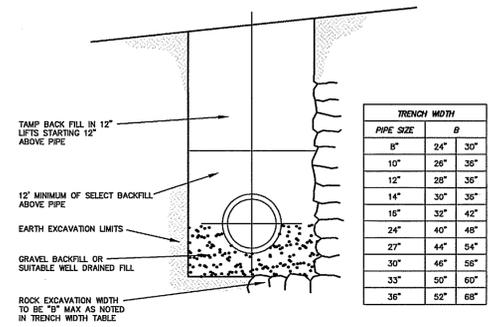
ROAD INLET
NOT TO SCALE



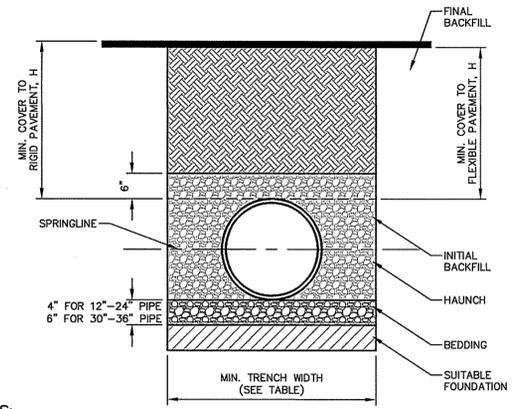
TYPICAL HYDRANT INSTALLATION
N.T.S.



TYPICAL WATER SERVICE CONNECTION DETAIL
N.T.S.



TRENCH DETAIL-STORM SEWER
N.T.S.



HDPE PIPE BEDDING DETAIL
NOT TO SCALE

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

PIPE DIAM.	MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS	
	SURFACE LIVE LOAD CONDITION H-25	HEAVY CONSTRUCTION (75T AXLE LOAD)*
12"-48"	12"	48"
54"-60"	24"	60"

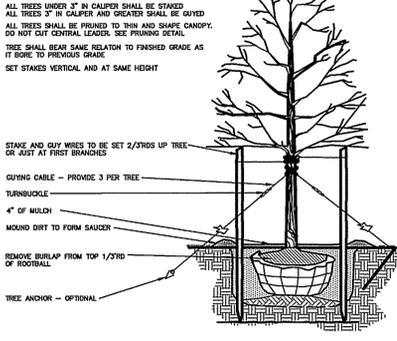
PIPE DIAM.	MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS	
	COOPER E-80**	COOPER E-80**
12"-48"	12"	36"
54"-60"	24"	48"

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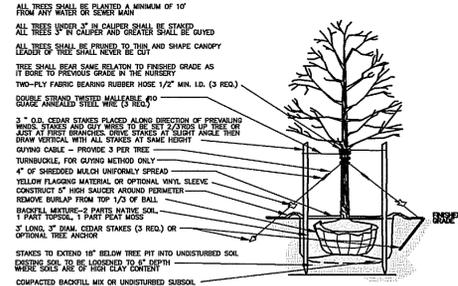
<p>DYKSTRA WALKER DESIGN GROUP PA PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 · LAKE HOPATCONG, NJ 07849 PHONE (973) 663-6540 · FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM</p> <p>THOMAS F. GRAHAM, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 246E03788100</p>	<p>CONSTRUCTION NOTES & DETAILS</p> <p>AMENDED PRELIMINARY AND FINAL SUBDIVISION CLOVERDALE WEST AT CRYSTAL SPRINGS BLOCK 16.30, LOTS 1 & 1.09-1.16 BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12 BLOCK 16.36, LOT 1 COVENTRY ROAD TOWNSHIP OF HARDYSTON SUSSEX COUNTY NEW JERSEY</p>	<p>DW</p> <p>SCALE: AS NOTED JOB NO.: 18064 DRAWN BY: MDF CHECKED BY: TFG DATE: 8/13/20 SHEET NO. 13 OF 14</p>
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LANDSCAPING GENERAL NOTES

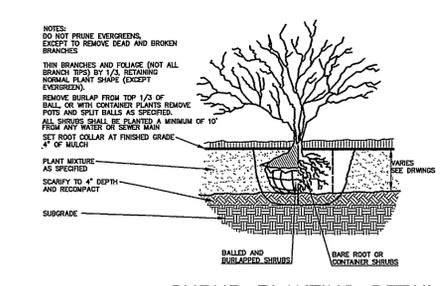
1. ALL VEGETATION SHOWN IS AT SEMI-MATURE GROWTH.
2. EXISTING PREDOMINANT VEGETATION TO BE PRESERVED WHERE PROPOSED SITE GRADING ALLOWS.
3. A PROTECTION SNOW FENCE BARRIER SHALL BE PLACED AT THE ONSET OF CONSTRUCTION TO PROPERLY PROTECT EXISTING VEGETATION. SEE DETAIL FOR SPECIFICATIONS. FENCE SHALL BE PLACED AT THE TREE DRIP LINE OR 15 FEET OFF TRUNK, WHICHEVER IS GREATER.
4. EXISTING WOODED AREAS TO REMAIN ARE TO BE SELECTIVELY THINNED, PRUNED, FERTILIZED AND PROTECTED AGAINST INSECT INFESTATION.
5. FOR SEEDING SPECIFICATIONS SEE SEEDING SCHEDULE.
6. APPROPRIATE WEED PREVENTION BARRIER TO BE UTILIZED IN SHRUB AREAS (NOT GROUND COVER AREAS) TO REDUCE MAINTENANCE PRACTICES. FOUR MILLIMETER PERFORATED BLACK PLASTIC OR FIBERGLASS WEED MAT TO BE UTILIZED PER MANUFACTURER'S SPECIFICATIONS.
7. ALL PLANTING BEDS TO BE MULCHED WITH 3" LAYER OF CLEAN HARDWOOD CHIPS OR 3" LAYER PEAT MOSS IN GROUND COVER AREAS.
8. EXACT PLANTING LOCATIONS MAY BE MODIFIED TO ADDRESS SITE CONDITIONS. PLANTING MODIFICATIONS TO BE PERFORMED UNDER-PLAN PREPARERS DIRECTION.
9. DUE TO POSSIBLE LIMITED PLANT AVAILABILITY, PLANT MATERIAL OF SIMILAR CHARACTER MAY BE SUBSTITUTED UPON TOWNSHIP ENGINEERS APPROVAL.
10. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK AND PLANTED IN CONFORMANCE WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
11. ALL PLANT MATERIALS TO BE GUARANTEED BY THE APPLICANT FOR ONE YEAR TO BE IN HEALTHY AND VIGOROUS CONDITION. NECESSARY WATERING AND OTHER MAINTENANCE DURING THE GUARANTEE PERIOD IS THE RESPONSIBILITY OF THE APPLICANT.
12. SLOPED AREAS TO BE STABILIZED WITH CROWN VETCH (BEFORE 5/1 OR FROM 9/1 TO 9/3) IN A SEED MIXTURE OF:
 - KY-31 TALL FESCUE @3/4# PER 1000SF
 - CROWN VETCH @1/4# PER 1000SF
 - CHEWING FESCUE @1/4# PER 1000SF
 - CHEWING RED FESCUE @1/4# PER 1000SF
13. PROPOSED WEBSITE TOLERANT SEED MIXTURE TO BE PLANTED AT A RATE OF 1000 PER ACRE FROM 4/1 TO 5/1 OR 8/16 TO 10/15. SEED MIXTURE TO CONSIST OF:
 - 5555 TALL FESCUE
 - 20K KENTUCKY BLUEGRASS
 - 13K PERENNIAL RYE GRASS
 - 5K ALSIKE CLOVER
 - 5K POA TRIVIALIS



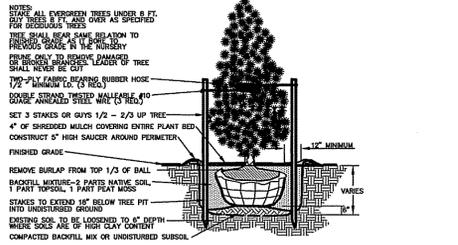
TREE STAKING DETAIL
N.T.S.



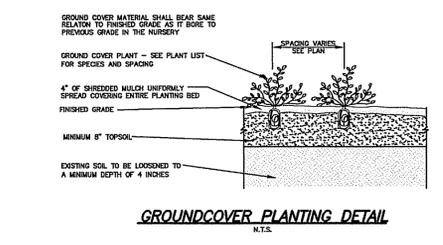
DECIDUOUS TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.



EVERGREEN TREE PLANTING DETAIL
N.T.S.



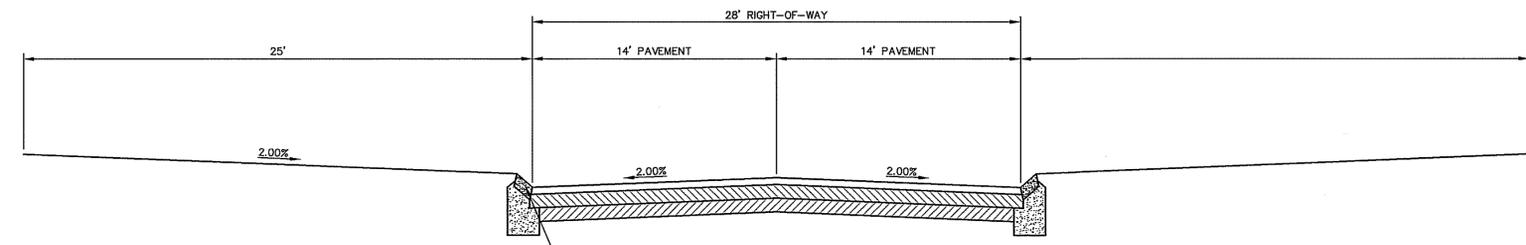
GROUNDCOVER PLANTING DETAIL
N.T.S.

14. THE PLANTING OPERATION INCLUDES ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, SHIPPING, INCIDENTALS AND CLEAN UP BY THE CONTRACTOR FOR THE INSTALLATION OF THE ENTIRE LANDSCAPE PLAN.
15. FALL PLANTING HAZARDS:
 - ACER RUBRUM & VARIETIES
 - BETULA VARIETIES
 - CORNUS FLORIDA & VARIETIES
 - PLATANUS ACERIFOLIA
 - PRUNUS - ALL STONE FRUITS
 - PERSEA - ALL PEARS
 - QUERCUS - ALL OAKS
 - CRATAEGUS VARIETIES
 - HALESIA
 - NOELANDEIRA
 - LIQUIDAMBAR STYRACIFLUA
 - LIRIODENDRON TULIPIFERA
 - CALYCIS-WEEDING VANE
 - STRAX JAPONICA
 - TRIA TOMENTOSA
 - ZELKOVA VARIETIES
16. ALL TREES AND SHRUBBERY SHALL BE PLANTED AT A SUFFICIENT DISTANCE FROM ANY WATER OR SEWER MAIN.
17. THERE SHALL BE NO CONNECTION BETWEEN ANY COMMON IRRIGATION SYSTEM AND POTABLE WATER SYSTEM.

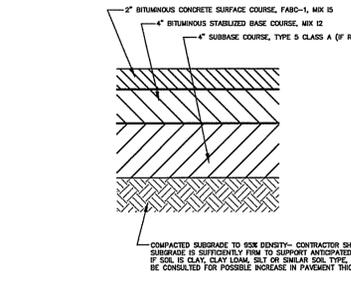
SEEDING SCHEDULE

1. TEMPORARY SEEDING SHALL CONSIST OF SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1,000 S.F. OR PEARL MILLET APPLIED AT A RATE OF 0.5 LBS. PER 1,000 S.F.. TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEM OCCURS, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED WITH A MULCH AS INDICATED IN NOTE 6.
2. PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 15 AND NOVEMBER 15:

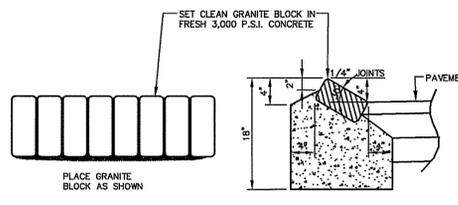
TYP. P. GRASS SEED MIXTURE	MIN. PURITY (%)	MIN. GERMIN. (%)	% OF TOTAL (%)
MASADA KENTUCKY BLUE GRASS	98	90	25
FALCON TALL FESCUES	98	90	25
PALMER PERENNIAL RYE GRASS	98	90	25
REBEL TALL FESCUES	98	90	25
CROWN VETCH SEED	98	90	25
3. PERMANENT SEEDING TO BE APPLIED BY HYDROSEEDING AT A RATE OF 100 LBS. PER ACRE. SLOPED AREAS TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
4. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 2.0 LBS. PER 1,000 S.F., OR AS DETERMINED BY SOIL TEST. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 19 LBS. PER 1,000 S.F.. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF 29 LBS. PER 1,000 S.F..
5. IF SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY OR PERMANENT SEEDING, EXPOSED AREAS TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
6. ALL SEEDING AREAS SHALL BE MULCHED. MULCH SHALL CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBRE MULCH BINDER, LIQUID MULCH BINDER, OR AN APPROVED EQUAL AT A RATE OF 10 LBS. PER 1000 SF.



TYPICAL 28 FT WIDE ROADWAY CROSS-SECTION
NOT TO SCALE



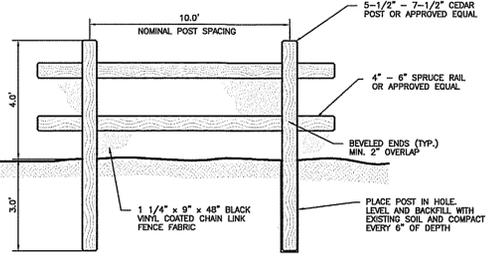
ROADWAY PAVEMENT SECTION
NOT TO SCALE



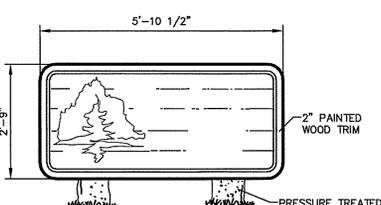
MOUNTABLE GRANITE BLOCK CURB (TYP)
NOT TO SCALE

NOTES

1. TREES SHALL BE PLACED TWO FEET FROM FACE OF CURB WITH SIDEWALKS AND EIGHT FEET WHERE NO SIDEWALKS EXIST OR ARE PROPOSED.
2. PLANTING DISTANCE BETWEEN TREES SHALL BE 50 FEET MAXIMUM EXCEPT THAT SOME FLOWERING TREES MAY BE PLANTED A MAXIMUM DISTANCE OF 30 FEET APART.
3. NO SHADE TREES TO BE PLACED IN SIGHT TRIANGLE EASEMENTS OR WITHIN 25 FEET OF THE INTERSECTION OF TWO STREETS.
4. MINIMUM CALIPER OF TREES SHALL BE 2 INCHES MEASURED 1 FOOT ABOVE GROUND.
5. MINIMUM HEIGHT OF TREES SHALL BE 11 FEET, EXCEPT FLOWERING TREES SHALL NOT BE LESS THAN 8 FEET.
6. ALL TREES SHALL BE BALLED AND BURLAPPED; SHALL BE OF NURSERY STOCK; SHALL BE OF SYMMETRICAL GROWTH; SHALL BE FREE OF DISEASE, INSECTS, AND MECHANICAL INJURY; SHALL BE STRAIGHT OF STEM WITH A WELL BALANCED TOP; SHALL BE OF VIGOROUS GROWTH; AND SHALL HAVE A WELL DEVELOPED ROOT SYSTEM. THE TRUNKS OF THE SHADE TREES (EXCEPT FLOWERING TREES) ARE TO BE FREE BRANCHES TO A HEIGHT OF AT LEAST 7 FEET FROM THE GROUND AND THE FIRST BRANCH SHALL NOT BE OVER 9 FEET FROM THE GROUND.
7. THE PLANTING HOLE SHALL BE ONE FOOT IN DIAMETER GREATER THAN THE ROOT BALL AND 6 INCHES DEEPER.
8. THE SOIL FOR BACKFILLING SHALL BE A MIXTURE OF THREE PARTS LOAMY SOIL AND TWO PARTS COARSE SAND AND ONE PART HUMUS.
9. AFTER BACKFILLING THE SURFACE OF THE PLANTING HOLE SHALL BE MULCHED WITH WOOD CHIPS, HAY, STRAW OR OTHER SUITABLE MATERIAL.
10. AFTER PLANTING THE TREE TRUNKS SHALL BE WRAPPED IN BURLAP-WRAPPED FROM THE GROUND LEVEL TO THE LOWEST BRANCHES. THE WRAPPING IS TO BE REMOVED AFTER TWO YEARS.
11. EACH TREE SHALL BE STAKED WITH THREE STAKES OF LOCUST, CEDAR OR OAK 2\"/>



SPLIT RAIL FENCE
N.T.S.



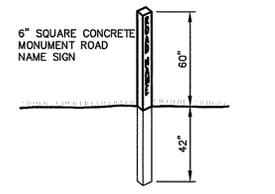
ENTRANCE SIGN
NOT TO SCALE



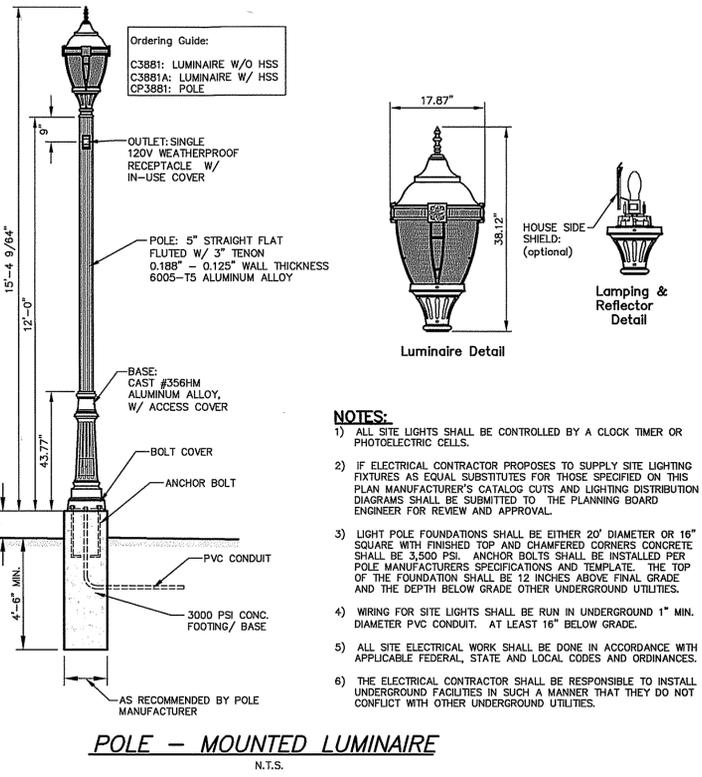
R7-1 NO PARKING SIGN DETAIL
NOT TO SCALE



R1-1 STOP SIGN DETAIL
NOT TO SCALE

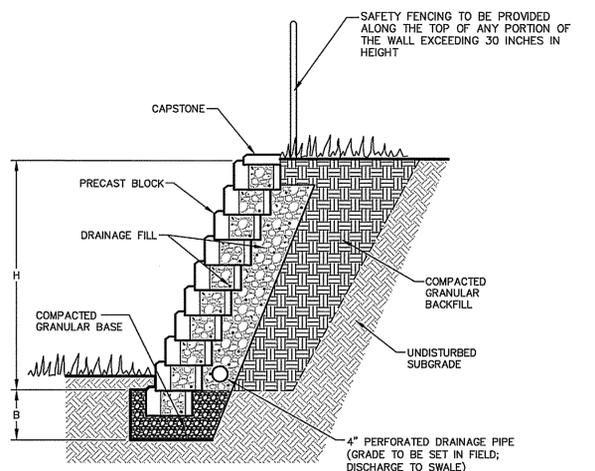


CONCRETE MONUMENT SIGN
N.T.S.



POLE - MOUNTED LUMINAIRE
N.T.S.

Luminaire Schedule					
Project: All Projects					
Symbol	Qty	Label	Arrangement	Lumens	Description
	22	S5823-175MH-IV	SINGLE	14000	0.720 Hadoo 175w MH Type 4 Luminaire Mounted on 12' SP5842



- NOTES:**
1. WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. HEIGHT OF WALL SHALL BE AS SHOWN ON THE GRADING PLAN. THE NUMBER OF COURSES OF BLOCK SHALL BE AS DETERMINED IN THE FIELD.
 3. SHOP DRAWINGS AND PROPOSED MANUFACTURER SHALL BE SUBMITTED FOR REVIEW.

RETAINING WALL DETAIL
NOT TO SCALE

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WWW.DYKSTRAWALKER.COM

Thomas F. Graham
THOMAS F. GRAHAM, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03788100

DATE	REVISION

CONSTRUCTION NOTES & DETAILS

AMENDED PRELIMINARY AND FINAL SUBDIVISION
CLOVERDALE WEST AT CRYSTAL SPRINGS
BLOCK 16.30, LOTS 1 & 1.09-1.16
BLOCK 16.34, LOTS 1.05-1.08 & 1.10-1.12
BLOCK 16.36, LOT 1
COVENTRY ROAD
TOWNSHIP OF HARDYSTON
SUSSEX COUNTY NEW JERSEY

DW

SCALE: AS NOTED
JOB NO.: 18064
DRAWN BY: MDF
CHECKED BY: TFG
DATE: 8/13/20
SHEET NO. 14 OF 14

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